

# AVANTI SOUTH

## SPECIFIC PLAN

June 2018

Prepared for:

lancaster  ca  
*it's positively clear.*

Applicant: Royal Investors Group, LLC

**DRAFT**  
**AVANTI SOUTH SPECIFIC PLAN**

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# AVANTI SOUTH SPECIFIC PLAN

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# 1 INTRODUCTION

This section explains the purpose of the Specific Plan; background; planning process and entitlements; guiding principles; organization of the Specific Plan; authority to prepare; relationship to existing plans and policies; local and regional context and setting.

## EXECUTIVE SUMMARY

The Avanti South Specific Plan, upon adoption, would provide a regulatory framework to provide design guidance, development regulations, and implementation measures for the build-out of the Specific Plan Area.

The Avanti South Specific Plan proposes a master planned community on approximately 307.7 acres within the southwestern portion of the City of Lancaster. The plan includes the following primary elements:

- 1,375 single family lots ranging from 2,800 to 7,500 square feet in size, including 431 age-targeted and active adult units;
- 325 multifamily units;
- 14 acres of Commercial uses;
- Over 31 acres of parks and open space;
- Trail network;
- 12.8-acre Elementary school;
- 1.3-acre Fire station.

Table 1-1 *Land Use Summary*, outlines the various uses within the project.

Table 1-1 Land Use Summary			
Land Use	Avanti West	Avanti South	Total
Low Density Residential (2.1-6.5 du/ac)	340 du	226 du	566 du
Medium Density Residential (6.6-15 du/ac)	--	809 du	809 du
High Density Residential/Multifamily (15.1-30 du/ac)	--	325 du	325 du
Open Space/Parks	5.9 ac	25.6 ac	31.5 ac
Commercial	--	14 ac	14 ac
School	--	12.8 ac	12.8 ac
Fire Station	1.3 ac	--	1.3 ac
Streets	8.8 ac	29.6 ac	38.4 ac
<b>Totals</b>	<b>340 du</b>	<b>1,360 du</b>	<b>1,700 du</b>
Note, MDR area includes 175 age-targeted and 256 active adult units.			

## 1.1 LOCATION

The Avanti South Specific Plan is located in the City of Lancaster in the County of Los Angeles, California (see Figure 1-1, *Regional Vicinity*). The Specific Plan Area encompasses approximately 307.7 acres of vacant land situated in the southwestern portion of the City. The Specific Plan Area is approximately five miles west of the Antelope Valley Freeway (State Route 14).



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The Avanti South Specific Plan is located to the west and east of 70th Street West and contains two separate subareas: the 234-acre Avanti South parcel to the east of 70th Street West and the 73-acre Avanti West parcel, to the west of 70th Street West (see Figure 1-2, *Site Vicinity*). The Avanti South parcel is generally bounded by Avenue L to the south, the proposed extension of West Avenue K-8 to the north, vacant land to the east, and 70th Street West on the west. The 73-acre Avanti West parcel is generally bounded by 70th Street West to the east, the proposed West Avenue K-8 extension to the south, vacant land to the north, and 75th Street West to the west.



Figure 1-1 Regional Vicinity



Figure 1-2 Site Vicinity

## 1.2 PLANNING CONTEXT

### 1.2.1 Ownership/Assessor Parcel Information

The project site is comprised of approximately 307.7 gross acres of vacant land. The project site is composed of four parcels. The 234-acre Avanti South parcel consists of two parcels, Assessor Parcel Numbers (APNs) 3204-008-045 and 3204-008-047. The 73-acre Avanti West parcel consists of APNs 3204-001-184 and 3204-001-195.

### 1.2.2 Existing General Plan Land Uses/Existing Zoning

#### Existing General Plan Land Uses

The Avanti South parcel of the Specific Plan Area is designated Urban Residential (UR) with a Specific Plan overlay. The parcel is within the City's Urbanization Area. The General Plan designates the Urbanized Area for urban density development. The 73-acre parcel (Avanti West) is designated Non-Urban Residential (NU). The primary intent and allowable densities of the Urban Residential (UR), Non-Urban Residential (NU), and Specific Plan land use designations, according to the City of Lancaster's General Plan include the following:

- Urban Residential (UR): This designation allows for residential use at density ranges from 2.1 to 6.5 dwelling units per acre.
- Non-Urban Residential (NU): This designation allows for residential use at density ranges from one dwelling unit per 2.5 acres to two dwelling units per acre.
- Specific Plan: This designation is for specific plans and planned developments.

As part of project entitlements, the Avanti West subarea would be subject to a General Plan Amendment that would revise its designation to Urban Residential with a Specific Plan Overlay, and the Avanti South subarea would be subject to a General Plan Amendment that would revise its designation to Mixed Use and Public – School.

#### Existing Zoning

The majority of the Avanti South Specific Plan Area is zoned Specific Plan (SP). The Avanti West parcel is primarily zoned Rural Residential of 1 unit/2.5 acres (RR-2.5) with a small portion of the eastern portion of the parcel zoned Rural Residential of 1 unit/1acre (RR-1). The intent of the SP Zone is that a comprehensive specific plan is prepared to regulate the development of the property within the SP Zone and to provide the opportunity for unique and creative designs. Permitted uses and/or density of the SP Zone is determined by the land use category specified on the General Plan Land Use Map, where applicable. The underlying land use category of the Avanti South parcel is Urban Residential (UR). UR designation permits single-family dwellings in an urban environment with full urban services. Additional uses are allowed that are complementary with an urban residential neighborhood.

The RR-2.5 and RR-1 zones have a non-urban, rural residential designation and are intended for rural single-family residential use. Non-urban residential zones are intended to provide single-family homes in a non-urban environment with minimal urban services. The RR-2.5 Zone allows for one dwelling unit per

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minimum net area of 100,000 square feet. The RR-1 Zone allows for one dwelling unit per minimum net area of 40,000 square feet.

### 1.2.3 Surrounding Uses

The 234-acre Avanti South parcel is surrounded by the following uses:

- North:** Across the proposed extension of West Avenue K-8 is vacant land. The vacant land is zoned Specific Plan (SP), and the Avanti North Specific Plan is currently under review by the City for the proposed development of single-family residential uses.
- East:** Single-family homes back up to the northern portion of the project site. Vacant land zoned Commercial Planned Development (CPD) is located to the east of the southern portion of the project site. A proposed Walmart is located immediately to the east on the corner of 60<sup>th</sup> Street West and Avenue L.
- South:** Avenue L is immediately adjacent to the project site. Vacant land zoned Single-Family Residential (R-10,000), a single-family residence, and Quartz Hill High School are located to the south across Avenue L.
- West:** 70th Street West is immediately adjacent to the project site. Vacant land zoned Semi-Rural Residential (SRR) and a cemetery are located to the west across 70th Street West.

The 73-acre Avanti West parcel is surrounded by the following uses:

- North:** Vacant land zoned Commercial Planned Development (CPD) and Rural Residential (RR-2.5) is located directly adjacent to the project site.
- East:** 70th Street West is immediately adjacent to the project site. Vacant land is located east across 70th Street West. The vacant land is zoned Specific Plan (SP), and the Avanti North Specific Plan is currently under review by the City for the proposed development of single-family residential uses.
- South:** The proposed extension of West Avenue K-8 is located immediately adjacent to the project site. South across West Avenue K-8 is a cemetery and vacant land zoned Rural Residential (RR-2.5).
- West:** The proposed extension of 75th Street West is located immediately adjacent to the project site on its extreme wester edge. Vacant land zoned Rural Residential (RR-2.5) is located west of the project site.

### 1.2.4 Topography

Topography for the Specific Plan Area is nearly flat. The onsite flow generally drains from south to north. Elevations on the site generally range from 2,400 to 2,445 feet above mean sea level (MSL)



### 1.2.5 Vegetation

The Specific Plan Area was historically used for agricultural purposes, and the project site is characteristic of historical agricultural fields. Vegetation typically consists of some shrubs, ornamental trees, and native annuals.

### 1.2.6 Circulation and Access

Vehicular ingress and egress access to the Avanti South Specific Plan area will be provided by Avenue L, 70<sup>th</sup> Street West, 65<sup>th</sup> Street West and the proposed Avenue K-8 and 75<sup>th</sup> Street West. Avenue L and 70<sup>th</sup> Street West are existing two-lane roadways with no curb or gutter.

### 1.2.7 Infrastructure and Utilities

No infrastructure is present within the project site.

Existing water lines are present to the east and north of the project, in 60<sup>th</sup> Street West and Avenue K. Existing sewer lines are present in Avenue L to the east of the project area and a 36-inch trunk sewer line is present in Avenue J to the north. The planned Avanti North project to the north would construct additional infrastructure as outlined in its Specific Plan document.

### 1.2.8 Geology and Soils

The soils on the project site are typical for recent to older alluvial deposits, consisting of normally consolidated silty to clayey sands, silts, and fine to medium grained sands.

The San Andreas rift zone, which is several miles wide, dominates the geology of the southern Antelope Valley. The rift zone is an extensive zone of active and potentially active faults that extends from the Gulf of California to Cape Mendocino in Northern California. The San Andreas Fault and associated subsidiary faults, are the closest active faults to the Specific Plan Area. The San Andreas rift zone, at its nearest point, is approximately six miles south of the project site.

No faults are known to be present on the site.

## 1.3 PURPOSE AND OBJECTIVES

### 1.3.1 Vision

The Avanti South Specific Plan will guide the development of an aesthetically cohesive planned community that connects visually to the characteristics of the City of Lancaster. The Specific Plan will allow for the development of a sustainable and walkable community that is connected by an open space network. Commercial uses will be strategically placed to allow for easy accessibility. There will be a diversity of housing types and sizes designed to promote an open community feel that will appeal to multiple generations. Emphasis will be placed on pedestrian and bicycle mobility, including safe routes to school for the proposed elementary school and a trail system.



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Avanti South is a collection of distinct walkable neighborhood districts. A variety of housing choices have been provided and principles of neighborhood-crafting using parks, linear parks, plazas, recreation and promenades as the community's outdoor rooms.

## 1.3.2 Project Objectives

The vision for Avanti South is to create a new master planned community within the City of Lancaster that offers a mix of residential, commercial, and recreational opportunities.

The objectives of the proposed project include the following:

- Develop a master planned community that incorporates fundamentals of great neighborhood design by balancing land uses, providing for vehicular and pedestrian mobility, and providing for the preservation/enhancement of recreation and open spaces;
- Identify opportunities for a variety of residential land uses throughout the development, with high and medium density uses located in proximity to commercial, and active adult communities located adjacent to existing single family neighborhoods;
- Provide a range of residential, commercial, recreational and business activities and services to the City;
- Distribute commercial uses throughout the site to promote the ability to access retail services through non-vehicular modes of travel and de-emphasizes an auto-centric orientation;
- Implement a circulation plan that enhances connectivity with existing General Plan Circulation Element roadways and provides for traffic calming elements such as roundabouts;
- Create a network of non-vehicular multi-purpose pathways throughout the development that promotes connectivity to schools, commercial areas, active adult neighborhoods, and recreational facilities, allows for greater mobility for residents and reduces the use of motor vehicles within the development;
- Provide a variety of recreational opportunities incorporating a comprehensive trail system, parks, and recreation areas, consistent with the Master Plan of Trails and Bikeways;
- Retain the existing drainage patterns to use as open space connections for pedestrian and non-motorized mobility along their edges and for water quality and storm flow conveyance;
- Promote the use of green building practices and sustainable development methods throughout the project; and
- Implement community design and landscaping elements that complement and are responsive to the Lancaster environment.

## 1.4 SPECIFIC PLAN BACKGROUND

In 1999, a development application was submitted which covered both Avanti South and Avanti North (currently owned by CV Communities). The proposal included the construction of 1,497 single-family homes, a school, and a park. The City initiated the CEQA review process and issued a Notice of Preparation

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and Initial Study on July 7, 2000. An Administrative Draft EIR was prepared, but prior to release for public review, the study was placed on hold.

A portion of the property was sold and a new application was filed and environmental review prepared. The current Tentative Tract Map No. 53229 was approved by the Planning Commission on October 17, 2005. Tentative Tract Map No. 53229 is bounded by Avenue K, 62nd Street West, Avenue L, and 70th Street West. The map is for a subdivision of 1,593 single-family lots, one school lot of 13.39 acres, and one park lot of 28.05 acres in the SP Zone. An Environmental Impact Report was prepared for the project. Tentative Tract Map No. 53229 is still active; however, it expires on October 17, 2017. This map encompasses the land area of both Avanti South and Avanti North.

The City of Lancaster has an active submittal for a proposed Specific Plan and Tentative Tract Map (Avanti North Specific Plan and Tentative Tract 73507) for the northern half of the Tentative Tract Map No. 53229, north of Avenue K-8.

The proposed Avanti South Specific Plan is accompanied by Tentative Tract Map 74312 that would replace any prior entitlements for the project site once approved by the City.

## 1.5 LEGAL CONTEXT

### 1.5.1 Authority and Requirements

A “Specific Plan” is a planning and regulatory tool made available to local governments by the State of California. Specific plans implement a city’s General Plan through the development of policies, programs, and regulations that provide an intermediate level of detail between General Plans and individual development projects. State law stipulates that specific plans can only be adopted or amended if they are consistent with a city’s adopted General Plan.

The Avanti South Specific Plan implements the goals and policies of the General Plan, serves as an extension of the General Plan, and can be used as both a policy and a regulatory document. The purpose of this Specific Plan is to implement the vision by providing goals, policies, programs, development standards, and design guidelines to direct future development within the Specific Plan Area.

The authority to prepare and adopt a Specific Plan and the requirements for its contents are set forth in California Government Code Sections 65450 through 65457. Section 65451 states:

A Specific Plan shall include a text and a diagram or diagrams which specify all of the following in detail:

- The distribution, location and intent of the uses, including open space, within the area covered by the plan.
- The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described by the plan.
- Standards and criteria by which the development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.

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- A program of implementation measures including programs, public works projects, and financing measures.
- The Specific Plan shall include a statement of the relationship of the Specific Plan to the General Plan.

## 1.5.2 Relationship to the General Plan and Zoning Code

The approval of the Avanti South Specific Plan would amend the City's General Plan to allow the development of the proposed 1,700 residential dwelling units, approximately 14 acres of commercial uses, 12.8 acres of educational facilities, 31.5 acres of parks, recreational facilities, and open space, 1.3-acre fire station, and all planned roadways. To accomplish this, a Zone Change and General Plan Amendment will incorporate the following actions:

- **General Plan Amendment.** 1) Changing the land use designation of the 73-acre Avanti West subarea from Non-Urban Residential (NU) to Urban Residential with a Specific Plan Overlay. 2) Changing the land use designation of the 234-acre Avanti South subarea from Urban Residential (UR) with Specific Plan Overlay to Mixed Use (MU) with a Specific Plan Overlay and Public-School. Upon amendment, the project would be consistent with the plans and policies of the General Plan.
- **Zone Change.** 1) Changing the zoning for the 73-acre Avanti West subarea from RR-2.5 to Specific Plan 15-02. 2) Changing the zoning for the 234-acre Avanti South subarea from Specific Plan to Specific Plan 15-02 and School. Adoption of the Avanti South Specific Plan which will serve as the comprehensive zoning document for all future development within the Avanti South Specific Plan Area.

## 1.6 PLAN ORGANIZATION

### Section 1 – Introduction

This section explains the purpose of the Specific Plan; local and regional context and setting; background; planning process and entitlements; guiding principles; authority to prepare; relationship to existing plans and policies; and organization of the Specific Plan.

### Section 2 – Development Plan

This section explains the conceptual land use plan for the Specific Plan Area; identifies land use policies, and defines the land use designations unique to the Specific Plan. The mobility, drainage, water and sewer, grading, and public services plans are also described.

### Section 3 – Development Regulations

This section explains the development standards for the land use designations established in the Development Plan, including the standards for residential districts, commercial, school site, parks and recreation, open space, parking, and signage.

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## Section 4 – Design Guidelines

This section explains design concepts and establishes design guidelines for development in the Specific Plan Area.

## Section 5 – Administration and Implementation

This section discusses the development review procedures by the City of Lancaster and other relevant permitting agencies, applicable to the Specific Plan Area. Implementation of the proposed land uses, including Specific Plan adoption, subsequent approvals and plans, density transfers, and phasing are outlined in this chapter. Additionally, financing sources and maintenance responsibilities are identified.



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## 2 DEVELOPMENT PLAN

This section explains the various elements of the Specific Plan, including Land Use, Parks/Open Space, Mobility, and Infrastructure.

### 2.1 COMMUNITY DESIGN CONCEPT

This section of the Avanti South Specific Plan discusses the components of the Specific Plan such as land use, mobility, grading, drainage, water and sewer utilities, parks and recreation, and public services. Each of these components is discussed in further detail in the sections below.

The vision for Avanti South is to create a new master planned community within the City of Lancaster offering a mix of residential, commercial, civic/institutional, open space and recreational opportunities organized and connected by walkable open spaces. Avanti South is a collection of distinct walkable neighborhood districts. A variety of housing choices have been organized around open space features and principles of neighborhood crafting using parks, paseos, and recreation as the community's outdoor rooms. The project focuses on community connections and the pedestrian experience utilizing a village paseo, promenades, linear parks, multi-use trails and active recreation uses.

### 2.2 LAND USE PLAN

The Avanti South Specific Plan ("Specific Plan") creates land use designations that will implement the land use goals and objective outlined in the Introduction section of this document. The land uses, intensities, sizes and locations are designed to focus the vision of a residential community that offers a significant open space and trails network, recreational amenities, and strong neighborhood networks.

The Land Use Plan aims to create a community where a diversified mix of housing, commercial, and recreational/open space uses are developed cohesively, thereby providing amenities to residents of the planned community. The Plan is organized into planning areas that are centered on common open spaces and trail amenities.

The Land Use Plan identifies a series of land use mixes throughout the Specific Plan area and further describes land uses, dwelling unit counts, commercial square footages, open space, school site and fire station acreage within the Specific Plan.

Figure 2-1, *Land Use Plan*, and Table 2-1, *Land Use Summary*, Table 2-2, *Avanti West Land Use Summary*, and Table 2-3, *Avanti South Land Use Summary*, describe how these uses and dwelling units are allocated throughout the Specific Plan.

The Avanti South Specific Plan proposes a master planned community on approximately 307.7 acres within the southwestern portion of the City of Lancaster. The plan includes the following primary elements:

- 1,375 single family lots ranging from 2,800 to 7,500 square feet in size, including 431 age-targeted and active adult units
- 325 multifamily units
- 14 acres of Commercial uses
- Over 31 acres of parks and open space
- Trail network
- 12.8-acre Elementary school
- 1.3-acre Fire station

## 2.0 DEVELOPMENT PLAN

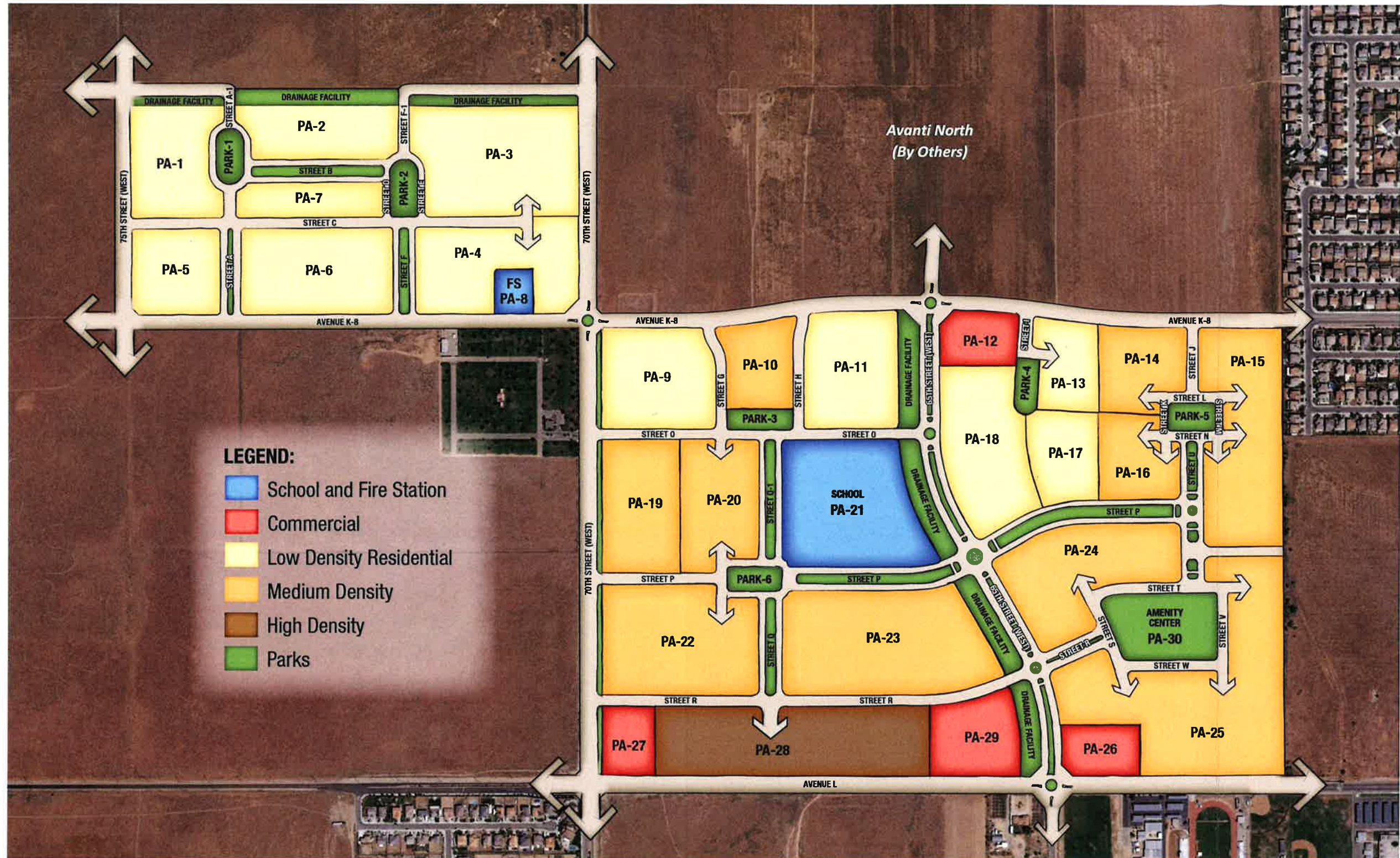
The project is generally broken into two major subareas:

- **Avanti West**, located to the west of 70<sup>th</sup> Street West and north of Avenue K-8. This portion of the plan is primarily a residential community with low density housing, parks, and a fire station that will serve the project and local vicinity.
- **Avanti South**, located to the east of 70<sup>th</sup> Street West, south of Avenue K-8 and north of Avenue L. This portion of the plan is a balance of residential densities with local serving commercial and a school site, connected via a greenspace program of parks and promenades.

Table 2-1 *Land Use Summary*, outlines the various uses within the project. Figure 2-1, *Land Use Plan*, illustrates the overall land use plan for the project.

Land Use	Avanti West		Avanti South		Total	
	Units	Acreage	Units	Acreage	Units	Acreage
LDR (2.1-6.5 du/ac)	340	57.4	226	35.6	566	93
MDR (6.6-15 du/ac)	--	--	809	102.4	809	102.4
HDR/Multifamily (15.1-30 du/ac)	--	--	325	14.3	325	14.3
Open Space/Parks	--	5.9	--	25.6	--	31.5
Commercial	--	--	--	14.0	--	14.0
School	--	--	--	12.8	--	12.8
Fire Station	--	1.3	--	--	--	1.3
Streets	--	8.8	--	29.6	--	38.4
<b>Totals</b>	<b>340 du</b>	<b>73.4 ac</b>	<b>1,360 du</b>	<b>234.3 ac</b>	<b>1,700 du</b>	<b>307.7 ac</b>







## 2.0 DEVELOPMENT PLAN

<b>Table 2-2 Avanti West Land Use Summary</b>					
Planning Area	Land Use	Acreage	Lot Size (typ)	Target Density (Du/Ac)	Units
PA-1	LDR	7.9	7,500	4.3	34
PA-2	LDR	7.5	5,000	6	48
PA-3	LDR	13.0	4,000	6.5	84
PA-4	LDR	9.6	4,000	6.5	62
PA-5	LDR	5.7	7,500	4.5	25
PA-6	LDR	9.9	5,000	6	64
PA-7	LDR	3.8	5,000	6	23
<b>Subtotal Residential</b>		<b>57.4</b>			<b>340</b>
Park-1	Park	1.1	-	-	-
Park-2	Park	1.1	-	-	-
Drainage	Open Space	1.7	-	-	-
Promenades	Open Space	2.0	-	-	-
<b>Subtotal</b>	<b>Parks/Open Space</b>	<b>5.9</b>	-	-	-
PA-8	Fire Station	1.3	-	-	-
Streets		8.8	-	-	-
<b>TOTAL</b>		<b>73.4</b>			<b>340</b>



**Figure 2-2 Avanti West**

## 2.0 DEVELOPMENT PLAN

**Table 2-3  
Avanti South Land Use Summary**

Planning Area	Land Use	Acreage	Lot Type (typ)	Target Density/Intensity	Units/sf
PA-9	LDR	8.6	5,000	6	51
PA-10	MDR	4.6	2,800	8.5	39
PA-11	LDR	8.3	4,500	6.5	54
PA-13	LDR	4.2	4,000	6.5	27
PA-14	MDR-Age Targeted	5.4	3,200	8.2	41
PA-15	MDR-Age Targeted	12.6	3,200	7.7	97
PA-16	MDR-Age Targeted	4.8	3,200	8.2	37
PA-17	LDR	4.7	4,000	6.5	30
PA-18	LDR	9.8	4,000	6.5	64
PA-19	MDR	7.9	4,000	7	55
PA-20	MDR	7.4	4,000	7	52
PA-22	MDR	12.6	2,800	8.5	107
PA-23	MDR	15.8	3,500	7.9	125
PA-24	MDR-Active Adult	10.8	3,200	8.2	88
PA-25	MDR-Active Adult	20.5	3,200	8.2	168
PA-28	HDR	14.3	Multifamily	22.8	325
<b>Subtotal General Residential</b>		<b>98.2</b>			<b>929</b>
<b>Subtotal Age Targeted</b>		<b>22.8</b>			<b>175</b>
<b>Subtotal Active Adult</b>		<b>31.3</b>			<b>256</b>
PA-12	Commercial	3.1	-	0.35 FAR	47,260 sf
PA-26	Commercial	3.0	-	0.35 FAR	45,290 sf
PA-27	Commercial	2.7	-	0.35 FAR	41,620 sf
PA-29	Commercial	5.2	-	0.35 FAR	79,430 sf
<b>Subtotal Commercial</b>		<b>14.0</b>	-	-	<b>213,600 sf<sup>a</sup></b>
Park-3	Park	1.0	-	-	
Park-4	Park	1.0	-	-	
Park-5	Park	1.0	-	-	
Park-6	Park	1.0	-	-	
PA-30	Amenity Center	5.3	-	-	
Drainage	Open Space	6.9	-	-	
Promenades	Open Space	8.0	-	-	
Trail Easement	Open Space	1.4	-	-	
<b>Subtotal Parks/Open Space</b>		<b>25.6<sup>a</sup></b>	-	-	
PA-21	School	12.8	-	-	
Streets		29.6	-	-	
<b>TOTAL</b>		<b>234.3</b>			<b>1,360 du 213,600 sf</b>

a. Numbers rounded for planning purposes.

## 2.0 DEVELOPMENT PLAN

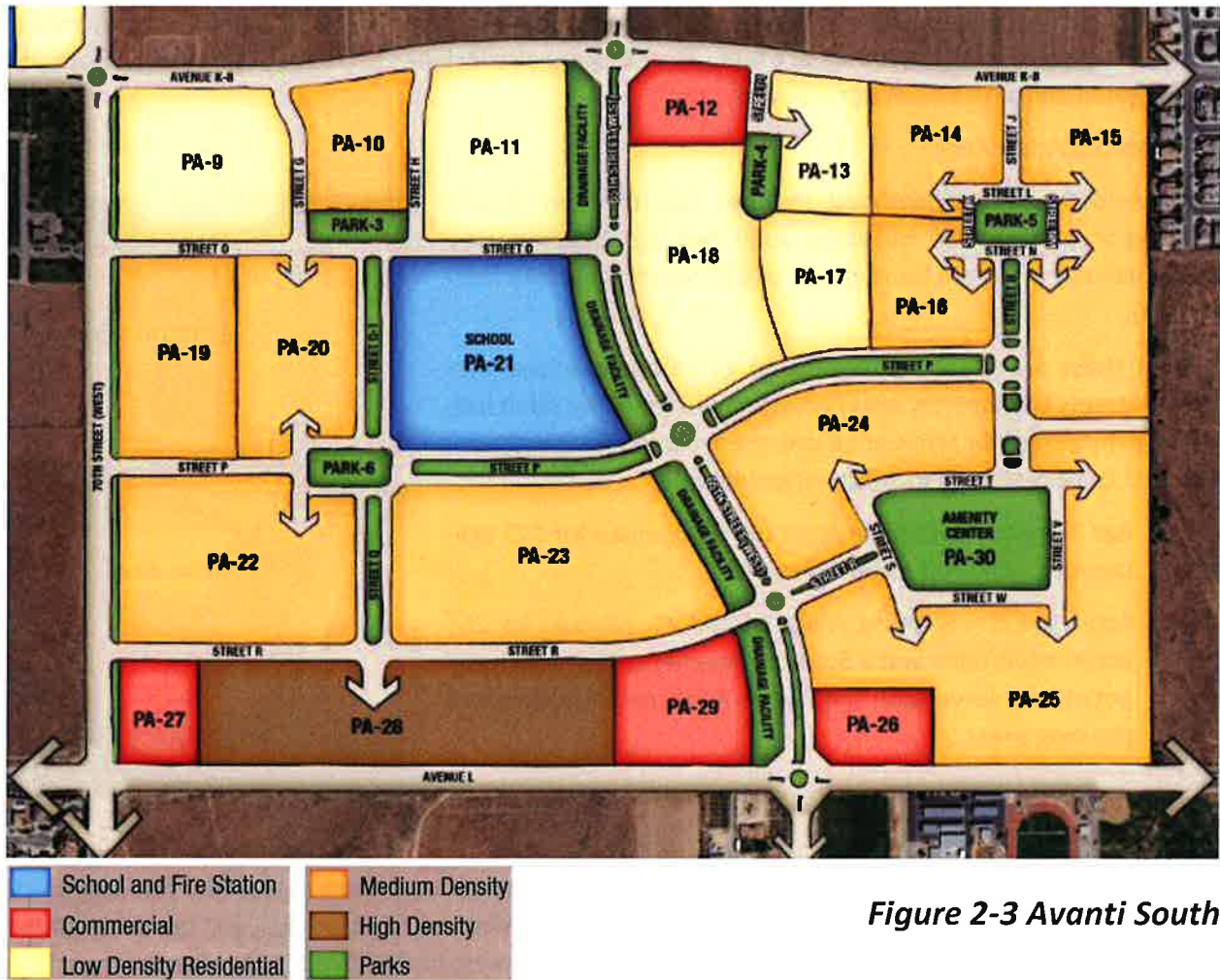


Figure 2-3 Avanti South

### 2.2.1 Residential Uses

A maximum of 1,700 market-rate residential units are proposed in 24 planning areas, at an average density of 5.5 dwelling units per gross acre over the 307.7-acre site. A summary of the land use is shown in Table 2-1, *Land Use Summary*. Table 2-2, *Avanti West Land Use Summary* and Table 2-3, *Avanti South Land Use Summary*, provide the detailed land use for the two major subareas of the project. The Land Use Plan incorporates three residential land use categories:

#### Low Density (LDR)

The Low Density Residential land use designation proposes up to 566 residential dwelling units within 12 planning areas on approximately 93 acres. As proposed, this land use designation will allow a range of 2.1-6.5 dwelling units per acre. Lots will range from 4,000 to 7,500 square feet in size.

#### Medium Density (MDR)

The Medium Density Residential land use designation proposes up to 809 residential dwelling units within 10 planning areas on approximately 102.4 acres. As proposed, this land use designation will allow a range



## 2.0 DEVELOPMENT PLAN

of 6.6-15 dwelling units per acre. This category includes single family and cluster homes on lots ranging from 2,800 square feet to 4,000 square feet. This category also includes two specialty neighborhoods for age-targeted and active adult homebuyers.

### *Age Targeted/Active Adult*

The Avanti South neighborhood includes five medium density planning areas identified for active adult and age targeted uses. These planning areas are located east of 65<sup>th</sup> Street West (see inset to right).

Both of these areas are planned to be gated communities with private streets and amenity areas programmed for active adult use. Although proposed for active adult use, these planning areas are not intended to be restricted to senior-oriented uses.

- Age Targeted – Planning Areas 14-16, planned for 175 age-targeted units and a one-acre park.
- Active Adult – Planning Areas 24 and 25, planned for 256 active adult units and a 5.3-acre amenity center which will potentially serve both the Active Adult and Age Targeted planning areas.



### High Density (HDR)

The HDR land use designation proposes up to approximately 325 multifamily residential dwelling units within one planning area on approximately 14.3 acres of the site. As proposed this land use designation will allow a range of 15.1-30 dwelling units per acre, and will be located adjacent to Avenue L.

### 2.2.2 Commercial Uses

The Specific Plan includes approximately 14 acres of commercial uses in four planning areas in the Avanti South neighborhood.

The commercial designation will generally include retail, restaurant, and office uses. Commercial development potential associated with the commercial designation is estimated at approximately 213,600 square feet of retail commercial and office use based on an average floor area ratio of 0.35.

Commercial uses for the planning areas adjacent to the proposed active adult areas (Planning Areas 26 and 29) specifically allow for medical office, assisted living, convalescent care, and similar uses.





## 2.0 DEVELOPMENT PLAN

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### 2.2.3 Community Facilities

#### School Facilities

One school site (Planning Area 21) has been identified within the Avanti South subarea of the Specific Plan. This site is approximately 12.8 acres in size and is anticipated to accommodate elementary school uses and potential shared park uses. The school site will be offered to the Westside Union School District. If the District does not take the school site upon project build-out or upon written communication from the School District that school site is not needed, the school site will revert to an underlying Low Density residential land use. See Section 2.5.5 for additional detail.

#### Fire and Police Facilities

##### *Fire Service*

Fire service calls will incrementally increase as a result of the potential development of the Specific Plan area. A 1.3-acre fire station is proposed in the Land Use Plan to serve the Specific Plan area and vicinity. The fire station is located in the Avanti West neighborhood, Planning Area 4. See Section 2.5.5 for additional detail.

##### *Police Service*

The City of Lancaster contracts with the Los Angeles County Sheriff's Department for police services. The local Sheriff's station is located at 501 West Lancaster Boulevard, Lancaster.

### 2.2.4 Parks and Recreation

Avanti South includes over 31.5 acres of parks and open space. These parks are connected by a series of promenades and paseos/linear parks with multipurpose trails.

These park and open space features are described in detail below, in Section 2.3, *Parks and Open Space Plan* below.

## 2.0 DEVELOPMENT PLAN

### 2.3 PARKS AND OPEN SPACE PLAN

Avanti South includes approximately 31.5 acres of parks and open space. These park and open space features may be seen in Figure 2-4, *Parks and Open Space*.

#### 2.3.1 Parks

The Avanti South parks program is based on an interlinked system of parks connected by multipurpose trails within promenades and linear parks. The City of Lancaster has a parks ratio of five (5) acres per 1,000 population and thus the Avanti South park requirement is approximately 25 acres based on the household size provided in the City's Parks, Recreation, Open Space and Cultural Master Plan. Parks and promenades will be privately maintained.

Table 2-4, *Parks and Open Space*, outlines the park and open space areas within the Specific Plan.

Table 2-4 Parks and Open Space			
Park and Open Space Areas	Ownership	Acreage	Preliminary Programming
<b>Avanti West</b>			
Park 1	Private	1.1	Medium Playground, picnic, putting green, seating
Park 2	Private	1.1	Large Playground, picnic areas, court games, seating, arbor/pergola
Drainage Facility	Private	1.7	Multipurpose Trail, interpretive signage
Promenades	Private	2.0	Multipurpose Trail, seating, fitness course
<b>Subtotal West</b>		<b>5.9</b>	
<b>Avanti South</b>			
Park 3	Private	1.0	Tot lot, gazebo, fitness stations, seating
Park 4	Private	1.0	Passive area, seating, dog park
Park 5 (Age Targeted)	Private	1.0	Lawn bowling, horseshoe pits, picnic, fitness stations, seating
Park 6	Private	1.0	Playground, seating, arbor, court games, dog park
Amenity Center (Active Adult)	Private	5.3	Clubhouse, restrooms, pickleball, community garden, pool/spa, putting green, arbor, seating
Drainage Facility	Private	6.9	Multipurpose Trail, western edge
Promenades	Private	8.0	Multipurpose Trail, seating, fitness course
Equestrian Trail Easement (70 <sup>th</sup> Street)	Private/Easement	1.4	12' Equestrian and 12' Class I Trail
<b>Subtotal East</b>		<b>25.6</b>	
<b>TOTAL</b>		<b>31.5</b>	



Figure 2-4 Parks and Open Space

## 2.0 DEVELOPMENT PLAN

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### Neighborhood Parks

Neighborhood Parks provide both passive and active recreational opportunities to residents of relatively small service areas, with such facilities as playgrounds, basketball courts and picnic areas. Based on the City's parkland goal of five (5) acres per 1,000 population the Specific Plan area is anticipated to generate the need for approximately 25 acres of parkland.

The Specific Plan includes five private neighborhood parks located throughout the project and two private recreation areas within the planned gated adult community. These parks will provide both parkland and improvements. It is anticipated the parks will incorporate shade trees, pathways, open play areas, playgrounds, play courts, shade structures, responsibly designed water features, seating, seat walls, shaded picnic tables, barbecues, a dog park, and ornamental landscaping. Anticipated programming for the parks is outlined in Table 2-4 *Parks and Open Space*. The Design Guidelines, Section 4 of this Specific Plan includes conceptual diagrams of the potential design of each type of park.

The parks will be owned by the City or the Homeowners' Association (see Table 2-4 for the ownership of each park). The parks will be developed by the developer and will be maintained by the HOA.

### Pocket Parks

Additional private pocket parks or amenity areas may be incorporated into each residential planning area as shown on the Parks and Open Space Plan. These small parks will be designed as part of the subdivision process for each planning area and will be subject to design review.

### Amenity Center

The Specific Plan includes a private recreation center for residents of the senior-oriented planning areas of Avanti South. All neighborhoods within the community which are part of these areas will have access to the recreational facility. This 5.3-acre facility is centrally located and is anticipated to include a recreational pool and clubhouse, spa, sun decks, shade structures, landscaping/meadow gathering space, restrooms, community garden, and off-street parking.



Indoor uses may include a multi-purpose room for community events, activity meeting rooms, a fitness center, locker rooms, and administrative spaces. The Landscape Plan section of the Design Guidelines shows this facility. Actual design would be accomplished as part of design review.

### Open Space

Other than parkland, the project includes several other open space components, including the following:

- Promenade areas, which are widened and enhanced medians in some project streets as shown on the Parks and Open Space Plan. These promenades are 60 feet in width and will include a multipurpose trail, seating, landscaping, and fitness course stations.



## 2.0 DEVELOPMENT PLAN

- Equestrian/Class I trail on 70<sup>th</sup> Street, which is an easement outside of the road right-of-way totaling approximately 1.4 acres. This easement incorporates the City's planned equestrian and Class I multipurpose trail.
- Drainage Facilities total approximately 8.6 acres and serve drainage, water quality, and trail functions. The edge of these areas incorporates a multipurpose trail and interpretive signage and will serve as a project amenity as well as a required engineering component.

### 2.4 MOBILITY PLAN

The Mobility Plan consists of approximately 38.3 acres of land dedicated to the roadway network necessary to serve the proposed project. In addition to this, a network of multi-use trails (promenades and paseos), bikeways and multi-purpose pathways will be developed within the project, to provide residents with additional mobility options throughout the development.

#### 2.4.1 Vehicular Circulation and Street Hierarchy

The Specific Plan proposes to provide access with the extension of Avenue K-8 through the site, connecting Avanti South with Avanti West, as well as an extension of 65<sup>th</sup> Street West through Avanti South, connecting the extension of Avenue K-8 with Avenue L. The Vehicular Circulation Plan includes traffic calming measures such as roundabouts. Refer to Figure 2-5, *Circulation Plan*.

##### Regional Circulation

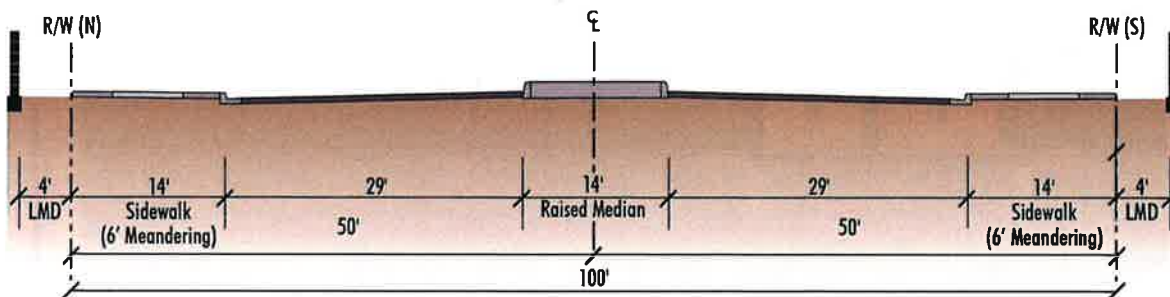
Lancaster is located in the Antelope Valley in northern Los Angeles County, connected to the region primarily by State Route 14 (SR-14), which runs through the center of the City and connects the Antelope Valley with the Los Angeles Metro area to the southwest. The Specific Plan area is located approximately 5.2 miles west of the SR-14.

##### Primary Arterials

Primary Arterials carry through traffic and connect with exterior streets outside the Specific Plan area. They are designed to have the highest traffic carrying capacity in the roadway system with the highest speeds and limited interference with traffic flow by driveways.

##### **Avenue L**

Avenue L is an east-west running primary arterial with a 100-foot right-of-way. It includes a parkway and a six-foot meandering sidewalk on the project frontage.



\*LMD area only where fronting MDR Lots

**Avenue L Cross Section**



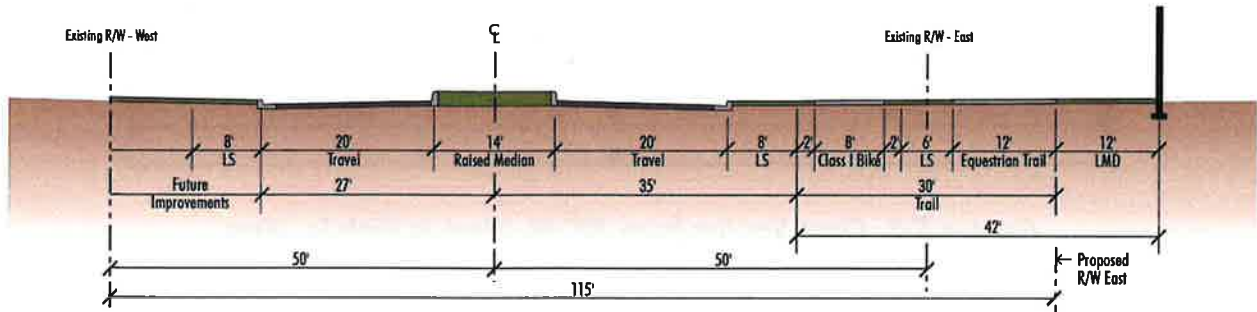


Figure 2-5 Circulation Plan

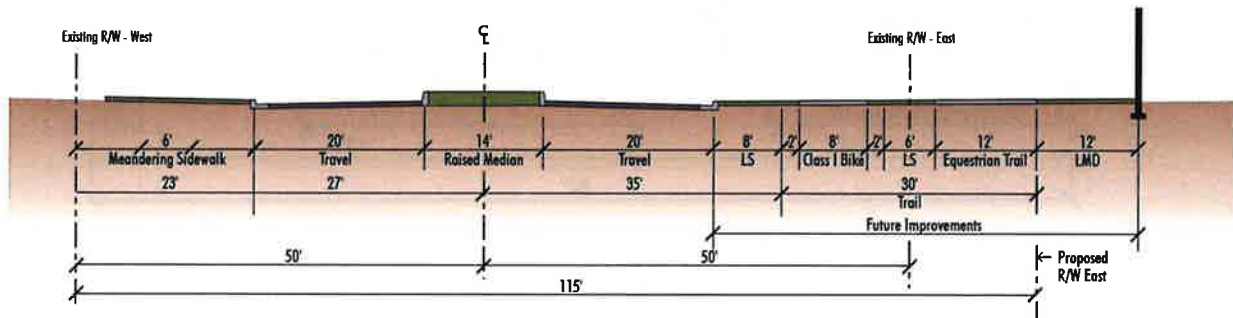
## 2.0 DEVELOPMENT PLAN

### 70<sup>th</sup> Street West

70<sup>th</sup> Street West is a north-south running arterial with a 115-foot right-of-way. It includes a parkway and is bordered by an equestrian trail and Class I Bicycle Trail on its eastern edge. Two Sections are shown below.



**70<sup>th</sup> Street West Cross Section (Avenue L to K-8)**



**70<sup>th</sup> Street West Cross Section (Avenue K-8 to K-4)**

### Secondary Arterials

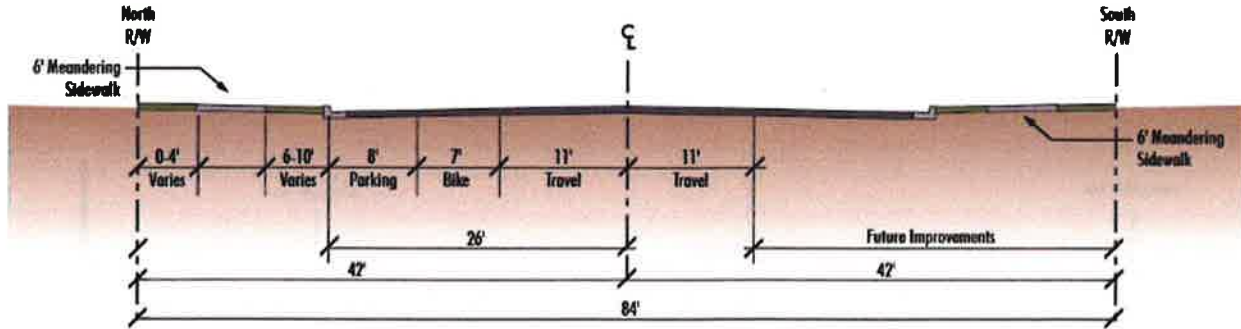
Secondary Arterials carry through traffic and connect with exterior streets outside the Specific Plan area. Parking on Secondary Arterials is limited to locations where residential units front on the street.

#### Avenue K-8

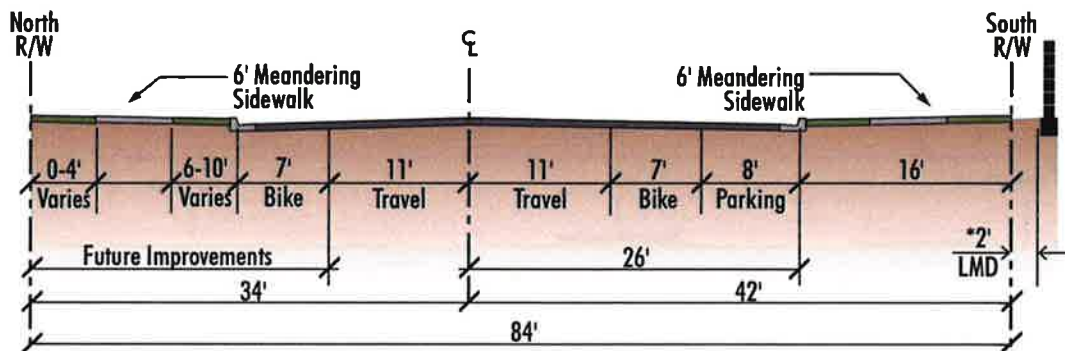
Avenue K-8 will be extended through the Specific Plan area, running east and west, connecting Avanti South with Avanti West, as well as individual planning areas. The extension of Avenue K-8 will connect the extension of 65<sup>th</sup> Street West with 70<sup>th</sup> Street West and 75<sup>th</sup> Street West. The extension of Avenue K-8 will be a 2-lane secondary arterial (84-foot right-of-way). Refer to the two Figures below, *Avenue K-8 Cross-Section from 70<sup>th</sup> St. West to 75<sup>th</sup> St. West*, and *Avenue K-8 from 62<sup>nd</sup> St. West to 70<sup>th</sup> St. West*.

The roadway cross-section is proposed to include one travel lane in each direction with a variable width parkway, which will include landscaping and a meandering sidewalk. The cross-section includes 8 feet for street parking on the south side from 62<sup>nd</sup> Street West to 70<sup>th</sup> Street West. Striped 7-foot wide Class II bike lanes are also proposed in both directions of travel. The road has been designed to slow traffic through the use of a roundabout design in two locations.

## 2.0 DEVELOPMENT PLAN



**Avenue K-8 Cross Section from 70<sup>th</sup> St. West to 75<sup>th</sup> St. West**

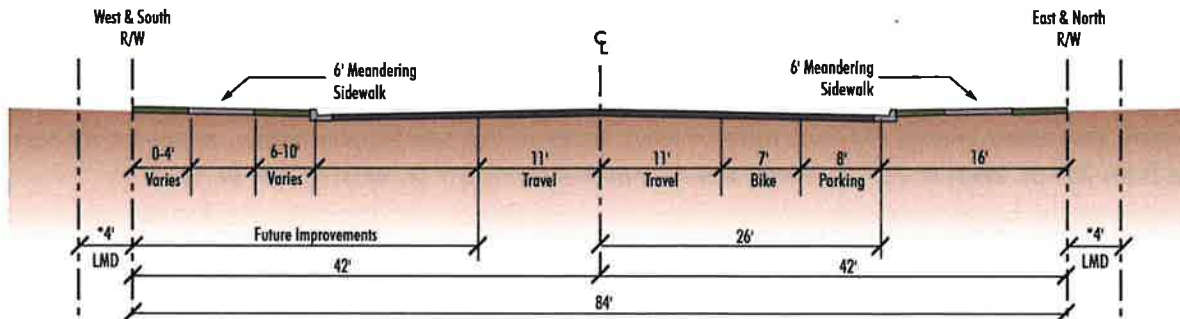


\*LMD at locations where houses do not front Ave K-8

**Avenue K-8 from 62<sup>nd</sup> St. West to 70<sup>th</sup> St. West**

### 75<sup>th</sup> Street West

75<sup>th</sup> Street West is a north-south running street proposed along the western edge of the Specific Plan Area, providing access to the planning areas of Avanti West. The roadway will be a 2-lane secondary arterial (84-foot right-of-way). Refer to Figure below, *75<sup>th</sup> Street West from Avenue K-8 to K-4 Cross-Section*. The roadway is proposed to include one travel lane in each direction with a 16-foot parkway, which will include landscaping, and a meandering sidewalk. The cross-section includes 8 feet for street parking in both directions of travel. Striped 7-foot wide Class II bike lanes are also proposed.



\*LMD at locations where houses do not front 75th Street West

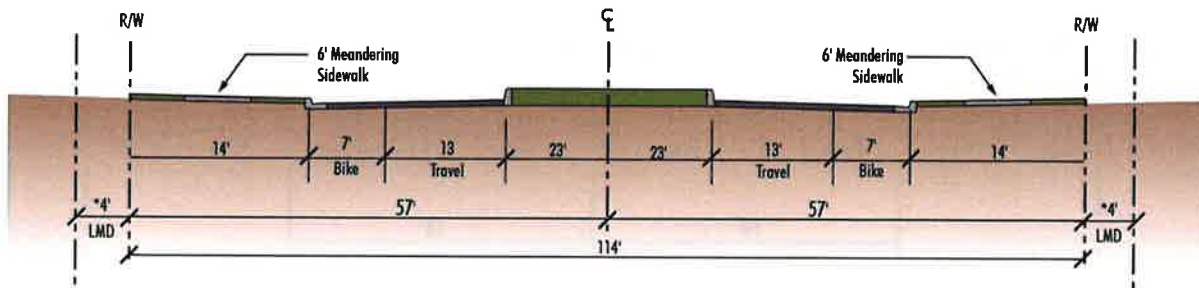
**75<sup>th</sup> Street West from Avenue K-8 to K-4 Cross Section**



## 2.0 DEVELOPMENT PLAN

### 65<sup>th</sup> Street West

65<sup>th</sup> Street West will be extended through the Specific Plan area, providing access to individual planning areas and connecting the extension of Avenue K-8 on the north and Avenue L on the south at its ultimate full-section width as a 2-lane secondary arterial (114-foot right-of-way). Refer to Figure below, *65<sup>th</sup> Street West Cross-Section*. The roadway cross-section is proposed to include one travel lane in each direction separated by a 30-foot landscaped median with a 16-foot parkway, which will include landscaping, and a meandering sidewalk. Striped 7-foot wide Class II bike lanes are also proposed in both directions of travel. The road has been designed to slow traffic through the use of a roundabout design at five locations (see Figure 2-5, *Circulation Plan*).

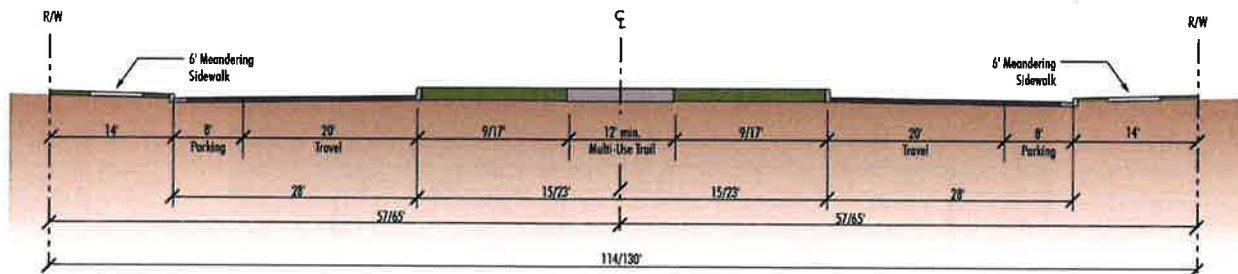


\*LMD at locations where houses do not front 65th Street

**65<sup>th</sup> Street West Cross Section**

### Residential Collectors with Promenade

Promenade Residential Collectors within the Specific Plan area are proposed as 2-lane roadways and are planned to include a raised landscaped median which will incorporate a 12-foot wide multi-use trail. Refer to the Figure below, *Residential Collector Cross-Section (with Promenade)*. The roadway cross-section is proposed to include a 14-foot parkway, which will include landscaping and a meandering sidewalk. The cross-section includes 8 feet for street parking in both directions of travel.

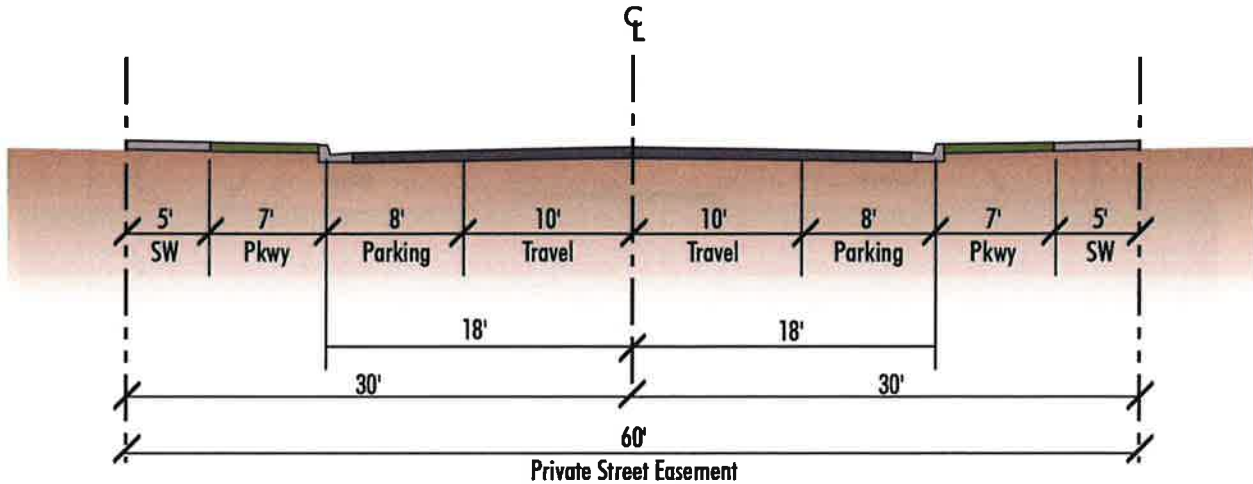


**Residential Collector Cross Section (with Promenade)**

## 2.0 DEVELOPMENT PLAN

### Local Streets

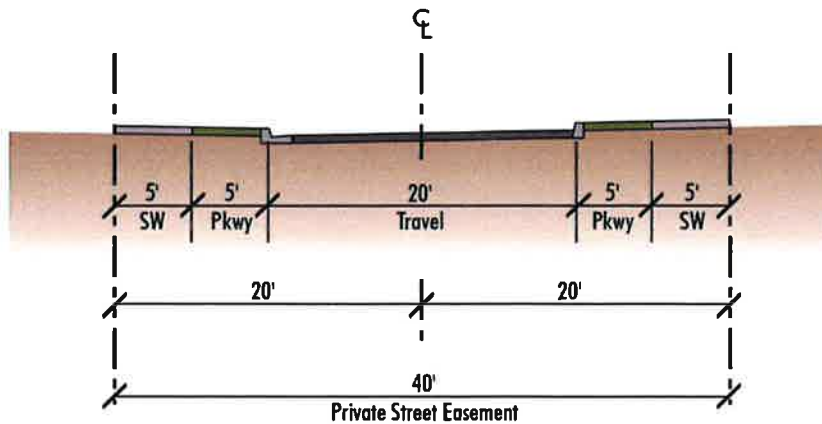
Local streets principally provide vehicular, pedestrian, and bicycle access to property directly abutting the public right-of-way, with movement of through traffic discouraged. Local streets are designated to be 36 feet wide curb to curb, within a 60-foot street easement and have two through lanes (one in each direction). The cross-section includes a 7-foot wide parkway, which will include landscaping, and a 5-foot wide sidewalk. The cross-section includes 8 feet for street parking in both directions of travel. Local streets will provide internal circulation within planning areas. Refer to Figure below, *Local Street Cross-Section*.



**Local Street Cross Section**

### Local One-Way

Local One-Way streets principally provide vehicular, pedestrian, and bicycle access to parks within the Specific Plan. Local One-Way streets are designated to be 20-foot wide curb to curb, within a 40-foot right-of-way and have one through lane (one-way). The cross-section includes a 5-foot wide parkway, which



**One-Way Local Street Cross Section – Internal within Planning Areas and Adjacent to Parks**

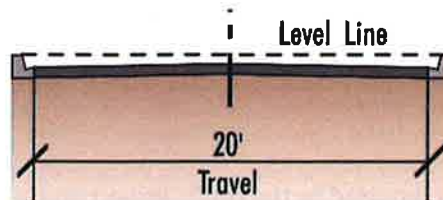


## 2.0 DEVELOPMENT PLAN

will include landscaping, and a 5-foot wide sidewalk. Local One-Way streets will provide internal circulation within planning areas. Refer to Figure above, *One-Way Local Street Cross-Section*.

### Alleys

Alley-loaded residential products are allowed within the Avanti South community as detailed in the Design Guidelines and Development Regulations. Alleys are private roadways that provide access to rear-loaded homes, and include a minimum 20-foot wide paved surface. Additional width may be provided for parking as part of a design review application.



***Alley/Fire Lane Cross Section***

### Gates

Gated projects are permitted within the Specific Plan. Gates may occur on collector or local roads. If provided, gates must include adequate stacking distance and an adequate turn-around area before the gate, and meet Los Angeles County Fire Department standards.

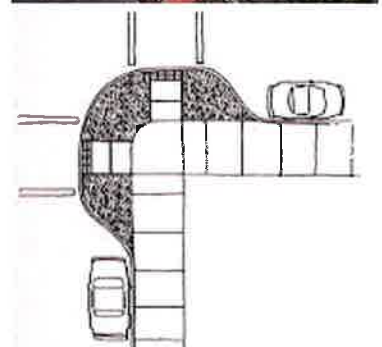
### Parking-Private Streets

Street parking can be provided by widening street sections fronting and internal to planning areas with additional private street easement width.

### Traffic Calming

The Specific Plan Circulation Plan allows for the following traffic calming principals and concepts:

- Provide residential streets with adequate Fire Department access and curb extensions ("bulb-outs") to reduce vehicle speeds, and reduce pavement, and increase visibility of pedestrians (see illustration inset to right);
- Provide a pattern of interconnected streets and a mix of street types. In residential subdivisions local streets should provide connections to the trails on adjacent collectors wherever possible;
- Provide street trees, on-street parking and front yard setbacks to create the feeling of a more enclosed street space, or "outdoor room";



***Curb Extension/Bulb-out***

## 2.0 DEVELOPMENT PLAN

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- Provide connected streets with short blocks to disperse traffic and provide multiple routes for vehicles and pedestrians;
- Provide intersections with smaller turning radii to reduce vehicle speeds in residential subdivisions;
- Design on-street parking to slow traffic and shield pedestrians;
- Design planting strips and trees in planted medians (where provided) and in curbside buffer areas to slow traffic;
- Design well-marked crosswalks, and raised crosswalks, with medians on wider streets; and
- Design for emergency vehicles with multiple access routes, with interconnected streets and alleys.

### Traffic Signals

Two off-site traffic signals have been required by the traffic impact study for the project. These are located at:

- 60<sup>th</sup> Street West/Avenue K-8; and
- 55<sup>th</sup> Street West/Avenue L.

### Roundabouts

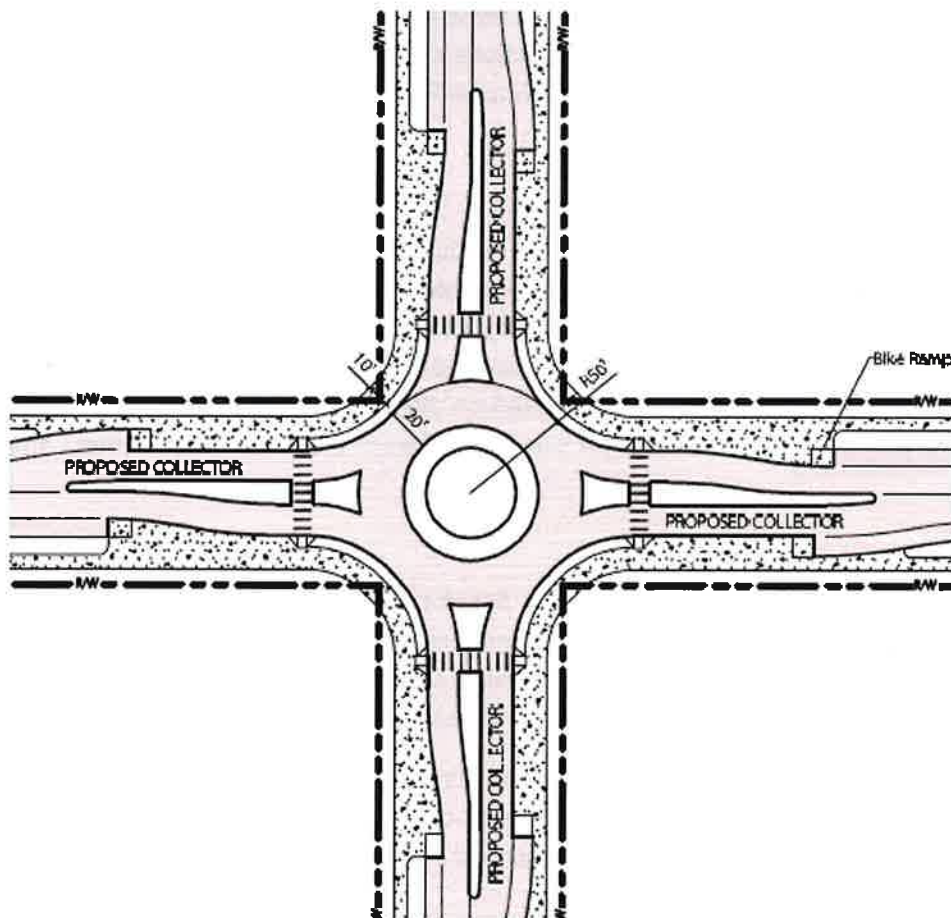
One-way roundabouts (see image at right for a typical roundabout feature) require traffic to circulate counterclockwise around a center island. Roundabouts should be used primarily on secondary arterials and collector streets, often substituting for traffic signals or all-way stop signs. They typically have raised islands to channel approaching traffic to the right.

With modern roundabouts, approaching traffic must wait for a gap in the traffic flow before entering the intersection and always requires yield-at-entry (yield-to-left). Since they involve deflection at the entry points and counterclockwise circulation around the center-island, these devices will limit speed and calm traffic.

## 2.0 DEVELOPMENT PLAN

Typical Roundabout Detail (see next page), illustrates a schematic design, although roundabouts in the Avanti South Specific Plan will conform to the City standard detail where one exists.

The Specific Plan proposes several potential roundabout locations along the 65<sup>th</sup> Street West extension at the Avenue K-8, Street O, Street P and Street R, and Avenue L intersections and the intersection of the 70<sup>th</sup> Street West at K-8 and Avenue L.



*Schematic Roundabout Design*

## 2.0 DEVELOPMENT PLAN

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### 2.4.3 Trails Plan

The residential neighborhoods are designed around a framework of parks and recreation facilities to encourage a walkable community and active community interaction. The convenient location of public open space and parklands is an important component of a smart-growth community. All the residents in Avanti South are located close to its parks, promenades, and recreational facilities. This walkable community concept will serve to:

- Promote healthy lifestyles;
- Reduce local vehicle traffic and greenhouse gas emission; and
- Promote safety and security through increased social interaction and the use of Crime Prevention through Environmental Design (CPTED) principles in park and open space areas.

The emphasis on open space also promotes strong community bonds and increased neighborhood identity.

The Specific Plan incorporates a network of on- and off-street non-motorized circulation elements to promote walkability and reduce vehicle miles traveled within the site.

The system provides for bicycles, pedestrians, and equestrians, and implements the City's Master Plan of Trails and Bikeways. Project trails provide connections within the site and would be designed to connect to the City's regional trails as shown on the City's Master Plan. The trail system within the project is shown on Figure 2-6, *Trails Plan*.

#### Multi-Purpose Trails

Off-street multi-purpose trails are located in a variety of locations throughout the Avanti South community. Multi-use trails are proposed on Promenade Residential Collector located in the raised 60-foot wide median. The multi-use trails located along the promenades connect parks located within the Specific Plan area. Figure 2-4, *Parks and Open Space* shows the locations of the promenades and parks. An 8 to 12-foot wide multi-purpose trail is proposed on the inside edge of the drainage facility. A 12-foot wide equestrian trail is proposed on the east side of 70<sup>th</sup> Street West between Avenue L and the Avenue K-8 extension.

#### Bicycle Lanes

Bicycle circulation is integrated throughout the Specific Plan area through on-street bike lanes and separated off-street bike or multi-use paths. Where bike lanes are not provided (such as along local neighborhood streets), bicyclists and slower-moving vehicles would share the road. These streets generally have less automobile traffic, reducing the need for dedicated bike lanes.

The Specific Plan provides for Class I (off-street) and Class II (on-street) bike lanes. A 12-foot wide Class I bike lane is proposed on the east side of 70<sup>th</sup> Street between Avenue L and the Avenue K-8 extension. Striped 7-foot wide Class II bike lanes are also proposed in both directions of travel on 75<sup>th</sup> Street, Avenue K-8, 65<sup>th</sup> Street West and Avenue L.





Figure 2-6 Trails Plan



## 2.0 DEVELOPMENT PLAN

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### Bicycle Parking

The City currently requires bicycle parking for new developments.

- Parks: inverted U-rack bicycle parking for at least 10 bicycles
- Large grocery stores, and other large commercial centers: Bicycle parking for at least 10 bicycles

### 2.4.4 Public Transportation

Public transportation in the City of Lancaster is provided by the Antelope Valley Transit Authority (AVTA). Numerous lines serve Lancaster and connect the City with the larger Antelope Valley region. Line 7 is routed along 60<sup>th</sup> Street West between Avenue I and Avenue L-8 and includes a stop at Avenue L and 60<sup>th</sup> Street West at Quartz Hill High School, approximately 0.25 miles east of the Specific Plan area. Proposed and existing Class II bike lanes would connect the Specific Plan area with the bus route. The route connects central Lancaster with the Palmdale Transportation Center.

A bus turn-out is proposed on Avenue L at 65<sup>th</sup> Street West.

### 2.5 INFRASTRUCTURE AND PUBLIC SERVICES

The Avanti South Specific Plan will require a variety of public facilities and services to support and serve the needs of its residents and businesses. The infrastructure system will seek to incorporate the highest level of sustainability achievable for a project of its kind and in its specific geographic location.

The various public facilities will be designed to enhance and complement the vision and design objectives of the Project and all facilities will be developed to meet or exceed the required industry standards of the respective service providers and as required by the applicable government standards

Services include: water, sewer, storm drainage, solid waste disposal, fire and police protection, schools, and library services. Table 2-5: *Service Providers* lists the various service providers for the Project.

<b>Table 2-5 Service Providers</b>	
Service	Provider
Water	Los Angeles County Waterworks District 40
Wastewater	City of Lancaster/Los Angeles County Sanitation District 14
Electric Service	Southern California Edison
Gas Service	The Gas Company
Communications	Spectrum/Frontier
Fire Protection	Los Angeles County Fire Department
Police Protection	Los Angeles County Sheriff
Schools	Westside Union School District Antelope Valley Unified School District
Library	County of Los Angeles
Solid Waste Disposal/Recycling	Waste Management

## 2.0 DEVELOPMENT PLAN

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### 2.5.1 Water Concept Plan

#### Water Supply

The Antelope Valley is located in a desert environment and underlain by a closed groundwater basin. Water service to the City of Lancaster is provided by numerous retail water agencies with all water provided from either groundwater, imported water from the Antelope Valley-East Kern Water Agency (AVEK), or a combination. The largest purveyor serving the City is the Los Angeles County Waterworks District No. 40, which serves the Avanti South project.

Los Angeles County Waterworks District No. 40 (WWD40) is a County agency governed by the Board of Supervisors, and is responsible for providing water to its service area. It is the largest retail water purveyor in the region, providing water service to both Lancaster and Palmdale areas, a service area of approximately 40,000 acres. WWD40 has two sources of water: groundwater from local wells and imported State Water Project (SWP) water through AVEK. Groundwater is supplied from 42 wells with a combined capacity 38,492 gallons per minute (gpm). The majority of the wells extract from the upper aquifer. WWD40 has a number of storage tanks as well as multiple booster pump stations. Additional storage tanks are planned to increase total storage in the WWD40 system.

The 2015 Urban Water Management Plan (UWMP) for WWD40 (dated August 2016) provides a summary of the agency's water supplies, demands, plans to ensure future reliability, detailed discussions of current and future water supply, and water supply strategies for the Antelope Valley. The 2010 IRUWMP identified future water demand for the Lancaster Capital development, which has since been renamed to Avanti. Avanti consists of two developments: Avanti North and Avanti South.

As a project in excess of 500 dwelling units a Water Supply Assessment (WSA) is required. Water supply and demand for the Avanti South project was analyzed in a Water Supply Assessment (WSA) prepared by Kimley-Horn in April 2017, consistent with the requirements of SB 610. SB 610 and its companion SB 221 seek to promote more collaborative planning between local water suppliers and cities and counties. Both statutes require detailed information regarding water availability to be provided to the City and County decision-makers prior to approval of specified large development projects.

The project's WSA indicated the following:

- That the District's water demand projections include anticipated development. The projected acreage is based on the amount of land that is vacant or currently planned for redevelopment from 2015-35.
- The calculated water demand for Avanti South is 1,295.4 AFY. Avanti South is a planned development that has been accounted for in the 2015 UWMP;
- Through a combination of existing supply, groundwater banking, new supply, and recycled water, the 2015 UWMP projects that total supply will meet demand, including Avanti South demand, through 2035 under normal, single-dry, and multiple-dry water year conditions, and thus the District's total projected water supplies will meet the projected water demand for Avanti South over the next 20 years.

## 2.0 DEVELOPMENT PLAN

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- A new Water Supply Entitlement Acquisition Agreement will be required between the Avanti South developer and the District.

The WSA shows that the District's total projected water supplies available during normal, single-dry, and multiple-dry water years will meet the projected water demand for Avanti South over the next 20-years.

### Potable Water Plan

An existing 36-inch water transmission main is present in 60<sup>th</sup> Street West, to the east of the Avanti South project area. In addition, existing 12-inch and 16-inch lines are present in a portion of Avenues K-8 and K, respectively.

As shown in Figure 2-7, *Water Plan*, the project would construct 12-inch water lines to serve the Specific Plan area, extended from the existing water mains to the backbone roads of Avanti South. Connections through the Avanti North Specific Plan area will be provided by that development. Water from these backbone mains will be extended into individual planning areas as they develop.

The water system will be a public system with the exception of water lines within gated portions of the community (the active adult and age-targeted planning areas). Water lines in these areas would be privately owned and maintained.



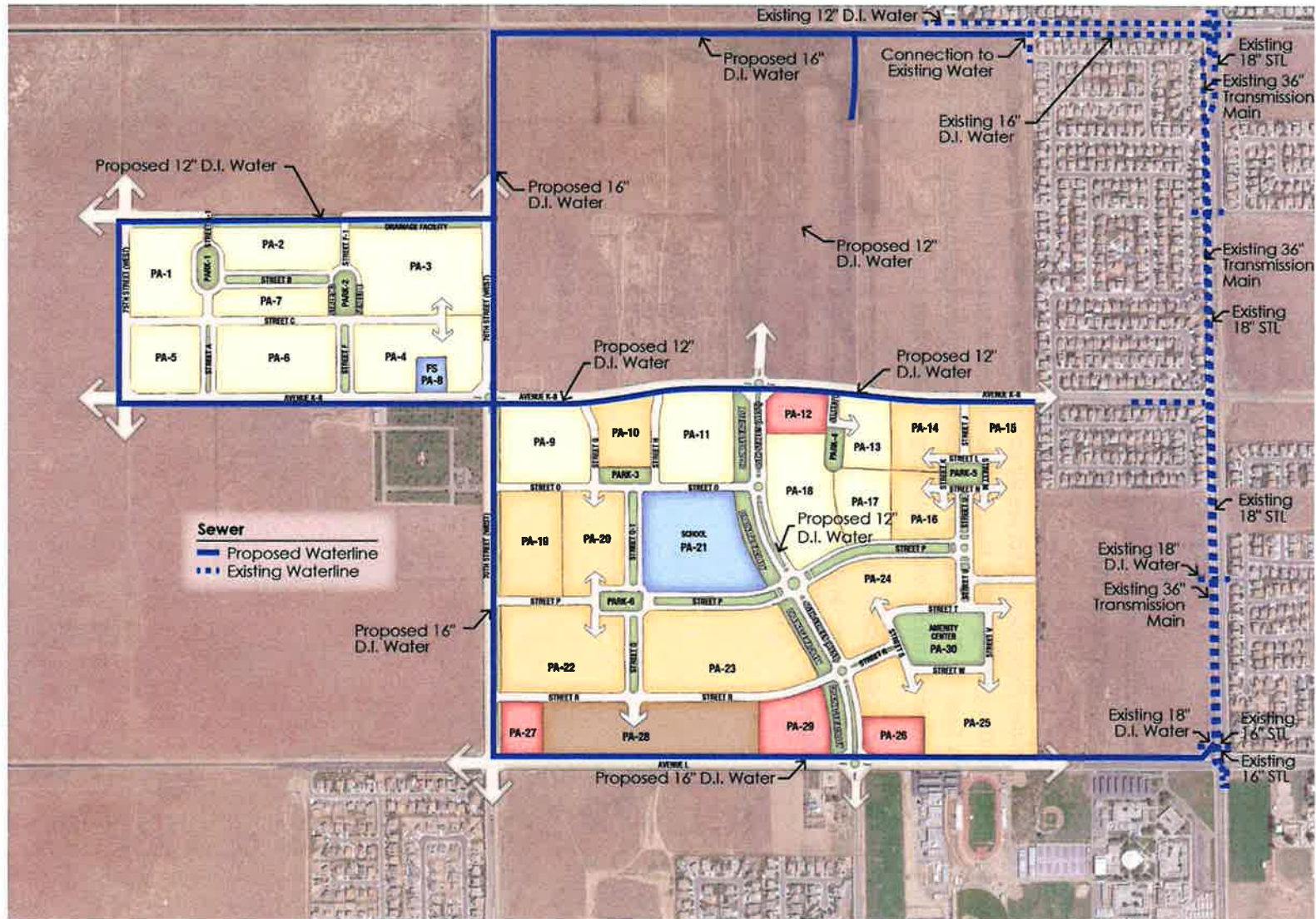


Figure 2-7 Water Plan

### 2.5.2 Wastewater Concept Plan

Collection, treatment, and disposal of wastewater within the City of Lancaster and adjacent unincorporated areas are under the jurisdiction of County Sanitation District No. 14. District No. 14 owns and maintains the trunk sewers and the Lancaster Wastewater Reclamation Plant (LWRP), which convey and treat wastewater generated by residential, commercial and industrial areas of the City of Lancaster, as well as portions of the City of Palmdale and unincorporated Los Angeles County. Local sewer collection is provided by the small diameter pipelines owned by the City of Lancaster. The boundary of the Sanitation District's service area is located immediately adjacent to the Specific Plan area on the east and south. Annexation into the District will be required.

Wastewater collected in the City of Lancaster initially flows through the local sewer pipelines owned by the City of Lancaster and maintained by the City. The District No. 14 trunk main network consists of approximately 64 miles of pipeline. Trunk sewer pipelines 24 inches in diameter or smaller are usually constructed of vitrified clay pipe. Larger trunk sewers are typically reinforced concrete pipe.

Wastewater flows from the City are treated at the Lancaster Water Reclamation Plant located near Avenue D and east of State Route 14 north of the City boundary. This plant has a current capacity of 16 mgd; capacity needs by the year 2020 are estimated at 26 mgd.

The closest backbone sewer lines to the project are present in Avenue L to the east of the project area and a 36-inch trunk sewer in Avenue J to the north.

As shown in Figure 2-8: *Sewer Plan*, wastewater generated from the Specific Plan area will be collected and conveyed through a conventional gravity system of pipes located within the new street rights-of-way and conveyed via a proposed 12- to 18-inch sewer in 65<sup>th</sup> Street West and along Avenue K to the existing 36-inch Sanitation District trunk line (14-P-37) in Avenue J. This trunk line conveys the wastewater to the treatment plant.

The wastewater system will be a public system with the exception of lines within gated portions of the community (the active adult and age-targeted planning areas). Wastewater lines in these areas would be privately owned and maintained.



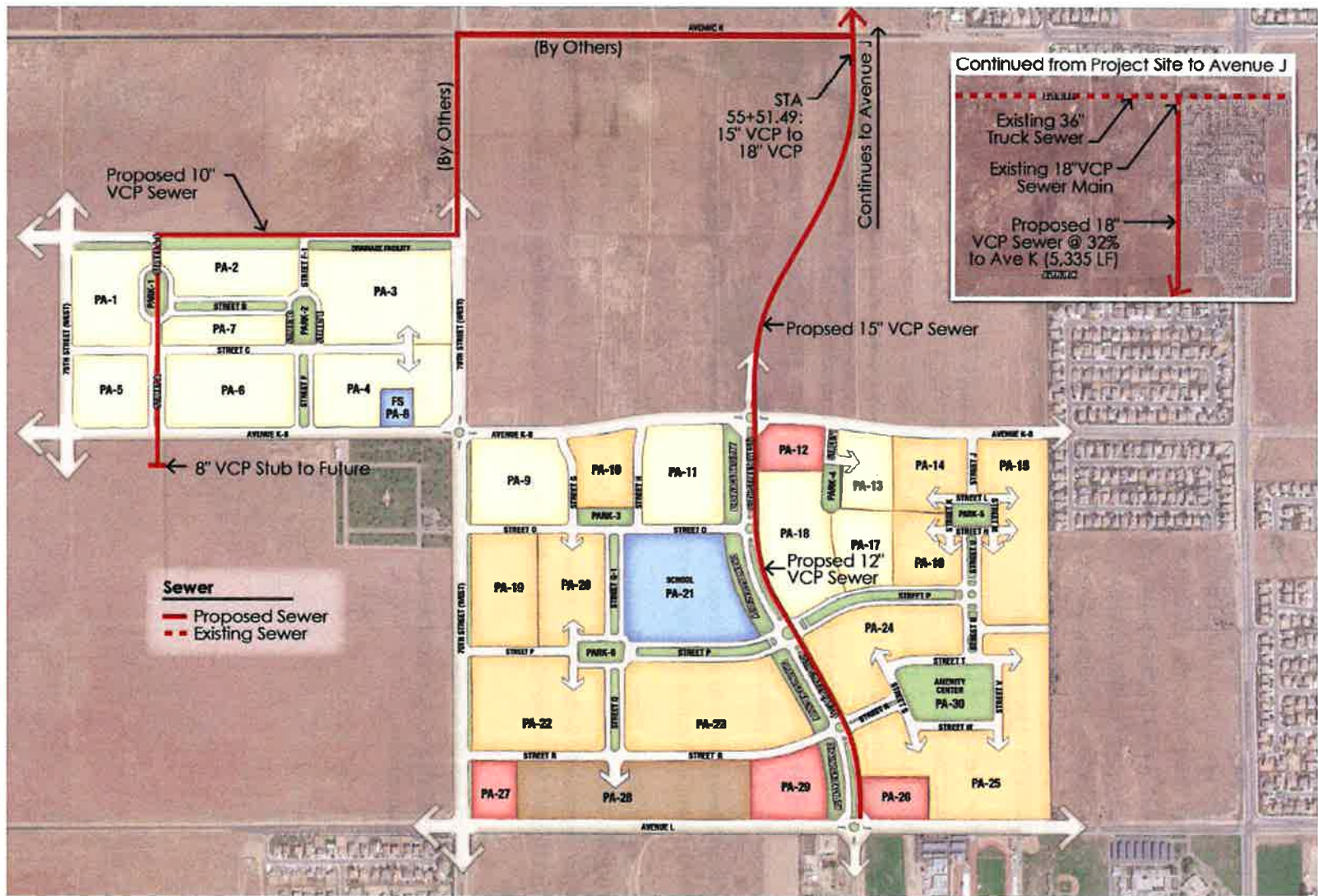


Figure 2-8 Sewer Plan

### 2.5.3 Grading and Drainage

#### Grading

The topography of Avanti South is consistent across the site, sloping from the south to north at 1.5 to 2%. The Avanti West portion has some slightly steeper natural grades on the western side of the property.

The proposed grading of the Avanti South project is controlled by the existing streets and existing development adjacent to the project site as well as the proposed Avanti North project. Grading design consists of most of the streets being cut with the earth volumes generated from the street cuts being used in the planning areas. Also, the earth volumes generated from the cuts for the detention basin will be used for the planning area fills.

Earthwork volumes have been estimated for the overall plan, which includes the major streets, the basins and un-compacted fill in the planning areas. Approximately 206,296 cubic yards (cy) of cut and 205,582 cy of fill are assumed for Avanti South, and approximately 50,008 cy of cut and 49,370 cy of fill are assumed for Avanti West.

Rough grading is anticipated to be done prior to or during development of individual planning areas to create building sites and commercial pads. Earthwork estimates have also been prepared for each planning area, derived from similar projects with similar topography in the west Lancaster area. Using similar projects earthwork volume estimates were prepared using representative volumes per acre which were applied to each planning area. This provides estimates for the overall project grading. This more detailed grading estimate is included as part of the Tentative Tract Map that accompanies this Specific Plan.

The project is estimated to balance on-site without import or export of soil. The grading concept is illustrated on Figure 2-9, *Grading and Drainage Plan*.

#### Regional Drainage

65th Street West is the alignment of a City master planned storm drain. There are currently two 72-inch storm drains in 65th Street West south of Avenue L, the project's southern boundary. These two storm drains presently cross Avenue L and outlet onto the Avanti South site. Storm drains will be extended north through both the Avanti South and off-site Avanti North project areas and will ultimately connect to existing storm drains at approximately Avenue J-12. The Avanti South project's storm drain is designed to convey off-site storm run-off through the project site. An off-site hydrology study was prepared in 2006 with the previous entitlement that determined the off-site run-off quantities and sized the storm drains. The off-site drainage will be conveyed through Avanti South with a storm drain in 65<sup>th</sup> Street West and along the eastern boundary of the project. The Avanti North project will be responsible for construction of its segment of the regional storm drain. The drainage concept is illustrated on Figure 2-9, *Grading and Drainage Plan*. This figure is schematic in nature and final engineering plans may differ based on the results of the City's Drainage Master Plan, which is being prepared as of the date of this Specific Plan.



## 2.0 DEVELOPMENT PLAN

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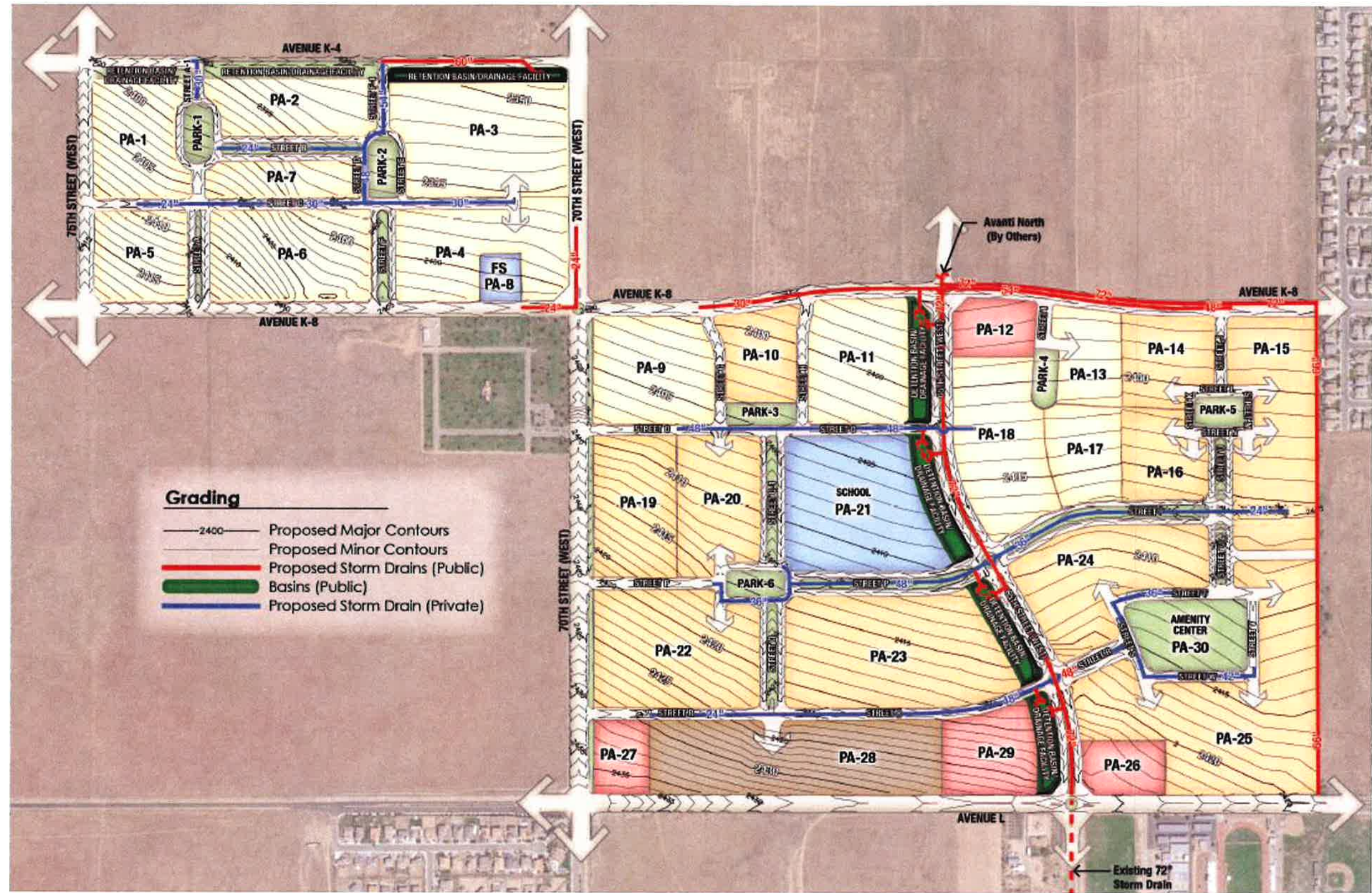


Figure 2-9 Grading and Drainage Plan



## 2.0 DEVELOPMENT PLAN

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### Backbone Drainage

#### *Avanti West*

The Avanti West portion of the project has a small off-site tributary area to the south that will not impact the project. Off-site run-off will be conveyed via Avenue K-8, on Avanti West's southern edge.

On-site drainage is designed to be conveyed via surface flow and internal storm drains (ranging from 24 to 60 inches in size) to a retention basin located at the northeast corner of the project site, north of Planning Area 3.

A retention basin is required for this portion of the project since there are no planned storm drains in 70th Street West in which to discharge. The retention basin is designed to mitigate the developed condition run-off volume from the Avanti West site. Retention basins are required to percolate in seven days, so the basin size will be dependent upon soil percolation rates. Final basin size and configuration may vary from the estimated size shown on Figure 2-9, *Grading and Drainage Plan*, dependent upon percolation rates and the final engineering design of this portion of the project.

#### *Avanti South*

Avanti South drainage design includes four linear detention basins along the west side of 65<sup>th</sup> Street West to mitigate the increase in run-off due to development. The site is designed to convey site drainage to these basins via surface drainage and a system of storm drains (ranging from 24 to 54 inches in size) within the project. The four detention basins function independently and will each outlet into the planned 72-inch storm drain in 65th Street West. In addition, existing off-site flows from Avenue L will be conveyed through the site to the planned storm drain in Avenue K-8. The on-site drainage, storm drains and basins are designed using the City's hydrology and drainage criteria including mitigating the system flows to 85% of the pre-developed run-off quantities. Final basin size may vary from the estimated size shown on Figure 2-9, *Grading and Drainage Plan*, dependent upon percolation rates and the final engineering design of this portion of the project.

### In-Tract Drainage

Drainage facilities within individual planning areas would be the responsibility of the builder of that planning area.

### Water Quality

Storm water will be clarified in the storm drain system with mechanical clarification devices before the runoff is directed into the project's basins, allowing for infiltration of clarified water. The retention basin on the Avanti West portion of the project will rely on percolation or infiltration for draw-down of the storm volume. The detention basins on the Avanti South portion will have low areas allowing for infiltration into the soil before outletting into the 65<sup>th</sup> Street West storm drain.

### 2.5.4 Dry Utilities (Gas, Electricity, and Telecommunications)

Gas and electric service for the Specific Plan area will be provided by The Gas Company and Southern California Edison. Telecommunications services are provided by Spectrum and Frontier. These utilities

## 2.0 DEVELOPMENT PLAN

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currently serve the existing vicinity and will be expanded to the rest of the site by the Developer in association with each phase of the project.

### 2.5.5 Community Facilities and Services

#### School Facilities

School and educational services are provided by the Westside Union School District (WUSD) for preschool through eighth grade and Antelope Valley Union High School District for grades 9-12. Quartz Hill High School, located on W. Avenue L, is the local high school for this area of Lancaster. The districts currently charge developer fees on a per-square-foot basis for new residential and commercial development.

One school site (Planning Area 21) has been identified within Avanti South neighborhood of the Specific Plan. This site is approximately 12.8 acres in size and is anticipated to accommodate elementary uses and potential shared park uses. The school site will be offered to the Westside Union School District. Developer fee credit will be given for school site land dedication value. If the District does not take the school site upon project build-out or upon written communication from the School District that school site is not needed, the school site will revert to an underlying low density residential land use.

#### Fire and Police Facilities

##### *Fire Service*

The City of Lancaster contracts with the Los Angeles County Fire Department for fire and paramedic services. Services provided include fire suppression, fire prevention, paramedic response, swift water rescue, hazardous materials response and other related fire protection and emergency services. The Fire Department maintains a fire station/division headquarters and a fire prevention office within the City of Lancaster. Station 129, located at 42110 6<sup>th</sup> Street West, is the primary station in the city. There are six fire stations within the City of Lancaster. Fire Station 130, located at 44558 40<sup>th</sup> Street West and Fire Station 134, located at 43225 North 25<sup>th</sup> Street are the nearest stations to the Specific Plan area.

Fire service calls will incrementally increase as a result of the potential development of the Specific Plan area.

The dedication of a 1.3-acre fire station site is proposed in the Land Use Plan to serve the Specific Plan area. The fire station is located in the Avanti West neighborhood, Planning Area 8.

As part of project design, all road widths and circulation, as well as the placement of fire hydrants and installation of automatic sprinkler systems, shall be designed with the guidance of the County Fire Department. A road system that allows unhindered Fire Department access and maneuvering during emergencies shall also be provided. Specifically, the project shall comply with the following:

- All public and private roads shall be all-weather surfaces with a minimum width of 20 feet, unobstructed. Cul-de-sacs and turnouts will be designed to Fire Department standards. For private roads, there will be ongoing and legally binding provisions to maintain the roads to Fire Department standards.



## 2.0 DEVELOPMENT PLAN

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- Structure numbers and street signs shall be lighted to County standards so that emergency vehicles including police and ambulances can locate residences in the event of any emergency.
- All fire hydrants shall be installed in accordance with Fire Department requirements.
- The project's water system shall be designed to maintain a minimum fire flow required by Los Angeles County Fire Department.

### *Police Service*

The City of Lancaster contracts with the Los Angeles County Sheriff's Department for police services. The local Sheriff's station is located at 501 West Lancaster Boulevard in Lancaster. Emergency response times for the Department are dependent on where the patrol vehicles are in relation to a call, as well as the nature of the call.

### 2.5.6 Waste Management

Waste Management of Antelope Valley is currently the sole franchise private hauler serving the City for waste collection. The Lancaster Landfill and Antelope Valley Landfill are two landfill sites located in the Antelope Valley. Nearly 100% of Lancaster's solid waste is taken to both landfills; however, other regional landfills in Los Angeles County also accept solid waste from the City.



# 3 DEVELOPMENT REGULATIONS

This section defines the land use designations unique to the Specific Plan. Development standards for each land use designation are also described.

## 3.0 DEVELOPMENT REGULATIONS

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The Avanti South Development Regulations are the result of synthesizing the Vision through the land design process to create a cohesive community. The Land Use Plan outlined in Section 2, *Development Plan*, provides a roadmap for the development of the community, while the mechanisms to ensure implementation are the detailed Development Regulations.

### 3.1 GENERAL PROVISIONS

The California Government Code (Title 7, Division 1, Chapter 3, Article 8, Sections 65450 et seq.) grants authority to cities to utilize Specific Plans for purposes of implementing the goals and policies of the City's General Plan.

This Specific Plan establishes a set of regulations, standards, guidelines, and processes for the proposed development, and shall constitute the zoning for development within the Specific Plan area.

This section has been prepared in accordance with California Government Code Section 65450, et seq. and the City of Lancaster Zoning Ordinance (Title 17 of the Lancaster Municipal Code). Regulations are proposed for residential, commercial, park, and institutional uses. Individual development areas are defined by density, lot size and planning area and have been included in accordance with the goals and objectives of this document.

Application of these regulations is specifically intended to provide the most appropriate use of the land, create a harmonious relationship among land uses and protect the health, safety and welfare of the community.

The following General Development Standards apply to all uses within the Avanti South Specific Plan.

#### 3.1.1 Applicability

The Avanti South Specific Plan has been developed as both a regulatory and a land use policy document, which, upon adoption by ordinance will constitute the zoning for the property. Development plans or agreements, tract or parcel maps, site plans or any other action requiring ministerial or discretionary approval of the subject property must be consistent with the Specific Plan. California Government Code, Section 65454 requires that a Specific Plan be consistent with the General Plan. Upon adoption, actions deemed to be consistent with the Avanti South Specific Plan shall be judged to be consistent with the City of Lancaster General Plan.

Where conflicts exist between the standards contained in this Specific Plan and those found in the City of Lancaster General Plan, Zoning Ordinance or Municipal Code, the regulations and standards in this Specific Plan shall take precedence. Any area of site development, administration, review procedures, environmental review, landscaping requirements, and regulations not expressly addressed by this Specific Plan document shall be subject to the provisions of the City of Lancaster Zoning Code, Municipal Code or General Plan, using the context and objectives of this Specific Plan as a guide.

#### 3.1.2 Severability

In the event that any regulation, condition, program, portion or policy of this Specific Plan or the application thereof to any person or circumstance is held to be invalid or unconstitutional by any court of

## 3.0 DEVELOPMENT REGULATIONS

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competent jurisdiction, such portions shall be deemed separate, distinct and independent provisions and shall not affect the validity of the remaining provisions of this Specific Plan or applications thereof which can be implemented without the invalid provision or application.

### 3.1.3 Determination of Unlisted Use

Any land use proposal not specifically covered by the provisions contained herein shall be subject to determination by the Development Services Director in accordance with Section 17.16 of the City of Lancaster Zoning Ordinance.

### 3.1.4 Interpretation

The development standards and regulations contained in this Specific Plan shall supersede the standards contained in the Lancaster Municipal and Zoning Codes, except where specifically provided in this Specific Plan. Whenever the provisions contained in this Specific Plan conflict with the Municipal or Zoning Codes, the provisions of this Specific Plan shall take precedence. Any ambiguity concerning the content or application of the Avanti South Plan shall be resolved by the City's Development Services Department, its Director or their designee. Such interpretations shall take into account the stated goals and intent of this Specific Plan. If requested, the Planning Commission may review any administrative interpretation, subject to appeal to the City Council.

### 3.1.5 Definitions

Unless otherwise specified below, terms used in this document shall have the same definitions provided in the City of Lancaster Zoning Ordinance Chapter 17.06, "Definitions." The following definitions shall apply to the uses and standards within this Specific Plan:

1. "Alley-Loaded." Access to a structure or lot is made from an alley rather than a street.
2. "Common Open Space" areas may include, but are not limited to, turf areas, landscaped areas, hardscaped areas (excluding parking areas and public/private driveways), gardens, sitting areas, game courts, swimming pools, spas, pickleball courts, basketball courts, tot lots and playgrounds, bocce ball courts, outdoor cooking areas, lawn bowling, and other similar recreational facilities.
3. "Continuum of Care." Any facility, place, or building that is maintained and operated to provide for a range of senior residential care, including independent living, assisted living, congregate care, and convalescent/skilled nursing care.

### 3.1.6 Boundaries

The boundaries and acreage of the individual planning areas are approximate. Precise boundaries and acreages will be established in conjunction with the subdivision map for each planning area or portions thereof within the project. Minor boundary and acreage variations shall be permitted, subject to review by the Development Services Director or their designee for conformance with the intent of the Specific Plan, without an amendment to this Specific Plan. Section 5, *Administration and Implementation*, of this Specific Plan includes a listing of minor modifications and criteria for required amendments to the Specific Plan.



## 3.0 DEVELOPMENT REGULATIONS

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### 3.1.7 Location and Adjustment of Land Use Designations

The locations of the land use designations shown on the land use plan are approximate and generally follow streets. Adjustments to any of the land use designation boundaries are subject to review and approval by the Development Services Director, or their designee and any such requests for adjustment must be made in conjunction with the submittal of a land use application.

Zoning for properties that are adjacent to a street extend to the centerline of the abutting street. Minor changes in boundary alignment and location are permissible with approval by the Development Services Director or their designee. However, the intended character and overall location of the land use designations must be maintained. For example, adjusting a boundary to conform to a precise street alignment instead of a conceptual location would be a logical interpretation of this plan's intent.

### 3.1.8 Senior/Age Qualified Communities

Senior and age-qualified projects (including "continuum of care" communities that include a full range of independent living through skilled nursing) are specifically allowed within the Avanti South Specific Plan. Such projects may include additional or different park facilities from that shown in the Specific Plan in keeping with the project's demographics; such changes shall be delineated in a site plan submittal concurrent with a subdivision map or site plan for the development.

### 3.1.9 Gated Communities

Gated communities are permitted within Avanti South subject to site plan/architectural review of the location, design, and rationale for such gating. Details of gate design must be included in the site plan submittal for any project which includes a gate, and must include adequate stacking distance to avoid backups onto surrounding collectors, adequate turn-around provisions, and adequate emergency access provisions. Gating is assumed, but not required, for the age-targeted and active adult planning areas of the Specific Plan. If a planning area is proposed to be gated, alternative provisions for the paseo connectivity shown in Figure 2-4, *Parks and Open Space* shall be provided.

### 3.1.10 Design Guidelines

Residential, commercial, and institutional development shall be designed and built in substantial conformance with the Design Guidelines contained in this document (Refer to Section 4.0, *Design Guidelines*). More detailed privately managed Level Two Design Guidelines may be prepared by the Master Developer to provide specific details regarding site plan design, architecture, and landscaping to guide individual builder submittals, subject to review and administration by the Master Developer. If prepared, these builder-level guidelines would be consistent with the guidelines herein, but would be administered privately.

## 3.0 DEVELOPMENT REGULATIONS

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### 3.2 GENERAL SITE DEVELOPMENT CRITERIA

The following general site development criteria shall apply to all land development within the Avanti South Specific Plan.

#### 3.2.1 Gross Acreage

Except as otherwise indicated, planning area acreages and densities are based upon gross acreages, which include the area for internal local streets and internal parks and open spaces.

#### 3.2.2 Grading

Development within the project site shall utilize grading techniques as approved by the City of Lancaster. All grading activity pursuant to this section shall be subject to a grading permit issued by the City of Lancaster.

#### 3.2.3 Subsequent Building Modification

Subsequent building modification by homeowners, including additions and/or projections into setback areas permitted by the Specific Plan (subject to approval of standard city permits), shall match the architectural style of the primary unit and shall be constructed of the same materials and colors as the primary unit and/or in context with the overall Design Guidelines.

#### 3.2.4 Utilities

All new public utility distribution lines of less than 69kv shall be placed underground throughout the Specific Plan area. Water, reclaimed water, sewer, and storm drain utilities may be designated as “public utilities” if located within public streets. Public utilities within private streets shall be designed to city/agency standards and contained within applicable easements.

#### 3.2.5 Development Intensity

The Avanti South Specific Plan allocates a total number of dwelling units to each Planning Area and by residential category as indicated in Tables 2-1 through 2-3, included in Section 2, *Development Plan*. Variations in the number and type of dwelling units within each residential planning area may occur at the time of final design depending upon the residential project identified for development (i.e., multiple product types and densities may occur within a single planning area, with overall density averaged over the entire planning area. Increases in allocation of residential units up to a maximum of 15% are permitted among the residential planning areas within the Specific Plan provided the total number of units established in this Specific Plan is not exceeded. The maximum number of residential dwelling units permitted within the Specific Plan shall be 1,700 dwelling units unless a density bonus is applied under the provisions of Lancaster code section 17.08.090 or new State of California provisions for density bonus which may apply.

Provisions for transfer of residential units between planning areas are outlined in Section 5, *Administration and Implementation*, of this Specific Plan.

## 3.0 DEVELOPMENT REGULATIONS

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The mix and ultimate intensity of the commercial components within the commercial planning areas of the Specific Plan are governed by the permitted uses and floor area ratios outlined in these Development Regulations.

### 3.2.6 Projections into Required Yards

The following encroachments into required yards shall be permitted in residential planning areas:

1. For Low Density Residential uses, porches are strongly encouraged. Where provided, porches shall have a minimum size/dimension of 8 x 10 feet. Porches may encroach up to six feet into the front yard/setback.
2. Outside stairways, porches, or landing places, if unroofed and unenclosed, may extend into a required side yard for a distance not to exceed three feet or into the required rear yard a distance not to exceed five feet.
3. Cornices, canopies, eaves, fireplaces, bay windows, or other similar architectural features not providing additional floor space within the building may project two (2) feet into the required setback.
4. One pergola or one covered but unenclosed landing may extend into either side yard, provided that its other horizontal dimension shall not exceed twenty (20) feet.
5. Attached patio covers and trellises or combination thereof may extend into half of the required rear yard setback and not less than five (5) feet from the rear property line or rear wall or fence.

### 3.2.7 Height

1. Building height shall be measured from the adjacent finished grade to the roof ridgeline for residential structures and the roof parapet for commercial structures. Rooflines must be appropriate to the architectural style.
2. Residential architectural features such as, but not limited to, weather vanes, chimneys, etc. as are appropriate to the architectural style of the home may extend in height above the stated Building Height of the Primary Structure, subject to architectural review.
3. Commercial architectural features such as clock towers and other vertical elements may extend above the stated building height as noted in Table 3-4, *Development Standards, Commercial Planning Areas*.

### 3.2.8 Walls and Fences

Walls and fences within the Avanti South Specific Plan shall be per Lancaster Zoning Code Section 17.08.130. General fence heights are as follows:

- Within front yard setback or corner lot size yard setback: 3.5 feet
- Within side or rear yard setback or along/behind corner lot size yard setback: 6 feet
- Additional height may be considered as noted in Section 17.08.130D. In addition, additional wall height is permitted when required for noise mitigation.

## 3.0 DEVELOPMENT REGULATIONS

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### 3.2.9 Interim and Temporary Uses

The following interim uses may be permitted in any planning area ultimately planned for development uses prior to its entitlement for its primary permitted use.

1. The growing of field crops, trees, vegetables, fruits, berries and nursery stock, including wholesaling of crops produced upon the premises subject to approval of an Administrative Permit.
2. Stockpiling of soil for use in subsequent phases as part of a grading permit approval.
3. Festivals or fairs subject to Director's Review and Municipal Code Chapter 9.46.
4. Construction staging, including materials storage lots for construction projects, temporary parking, and construction trailers, subject to administrative approval of a Construction Management Plan.
5. Farmers Markets subject to approval of a Special Event Permit.
6. Christmas tree lots, pumpkin patches and similar seasonal uses subject to the provisions of the Zoning Code.
7. Temporary parking lots.
8. Project information Centers/Sales Centers/Model Complex, subject to Director's review of a building permit and agreement letter.

### 3.2.10 CC&Rs

CC&Rs will be developed as part of the Project's Homeowners Association. The CC&Rs for the project shall incorporate the following elements:

- Private garages within the Specific Plan area shall be utilized for vehicle storage and be kept open for such use.
- Long term storage of operable or inoperable vehicles in the front or rear yard of homes is not permitted.
- Maintenance guidelines for trails within the project including the requirement that all trails be maintained in an open unobstructed condition.

## 3.3 RESIDENTIAL DEVELOPMENT STANDARDS

The development standards and product types included herein are intended to establish the minimum design parameters. An appropriate mix of building types shall be incorporated into planning areas to avoid a monotonous neighborhood. The City may allow different standards and product types proposed by a developer/builder during site development and architectural review of a Specific Development Plan and/or Tentative Map, provided that such alternative standards and product types are consistent with the intent of the Specific Plan.



## 3.0 DEVELOPMENT REGULATIONS

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There are 3 classifications of residential development in the project area:

- Low Density Residential (LDR): The gross density range is from 2.1 to 6.5 du/ac.
- Medium Density Residential (MDR): The gross density range is from 6.6 to 15 du/ac.
- High Density Residential (HDR): The gross density range is from 15.1 to 30.0 du/ac.

Proposed product types are described below, although at the time of site plan/architectural review additional housing types may be proposed. Innovative product types are encouraged.

- Single Family detached are single homes on individual lots, which may be front- or alley-loaded.
- Duplex lots are two (2) single-family attached homes with primary entries and walks facing the street or community paseos. Private outdoor living space can occur in front, rear and/or side yards. Automobile access is via street or alley. Resident parking spaces are provided in garages and guest parking spaces are provided in driveways, on local streets or in designated parking areas. This product type functions typically more like a single-family unit.
- Row townhomes are single-family attached homes with primary entries facing street or common open space. The units have private outdoor living space. Automobile access is via an alley or private street. Resident parking spaces are provided in garages, and guest parking spaces are provided on public or private local streets or in designated parking areas.
- Motor court cluster units are single-family detached dwellings clustered around a motor court. Primary entries and walks face either the motor court or the street. Private outdoor living space can occur in side and rear yards. Automobile access is via private motor courts or street. Resident parking spaces are provided in garages and guest parking spaces provided on private lanes, public or private local streets or designated on-site parking spaces.
- Attached motor court cluster are attached multi-family homes with living spaces oriented toward the street community paseos. Homes enter from motor court or paseo. The units have private outdoor living space. Automobile access is via street or motor court. Resident parking spaces are provided in garages, and guest parking spaces are provided on local streets or in designated parking areas.
- Multi-Family flats are attached multi-family homes with entries from common open space. Automobile access is via an alley or private drive. Resident parking spaces are provided in garages or designated on-site parking spaces, and guest parking spaces are provided on local streets or in designated parking areas.
- Alternative Housing. Housing types that encourage family living are encouraged within the Specific Plan. These include allowing for accessory dwelling units in accordance with State law; guest houses on larger lots in Low Density Planning Areas in accordance with Section 17.08.230 of the Lancaster Municipal Code; and multigenerational housing types which may include multiple master suites and kitchen areas as well as additional entries.

### 3.0 DEVELOPMENT REGULATIONS

**Table 3-1  
Permitted Uses, Residential Planning Areas**

P – Permitted D – Director’s Review C- Conditional Use Permit X-Not permitted

USE	LDR	MDR	HDR
a. Single-family detached residences in a permanent location with a permanent foundation (front or rear/alley-loaded) on an individual lot	P	P	P
b. Detached motor court clusters	X	P	P
c. Duplexes or Multigenerational Housing	P	P	X
d. Attached housing, including Townhomes/Rowhouses/Attached Motor Court Cluster Units, and zero lot-line housing	X	P	P
e. Multifamily Flats	X	P	P
f. Live/Work Units in accordance with section 17.01.210 of the zoning code	X	D	D
g. Assisted living facility/residential care facility	D	P	P
h. Accessory structures appurtenant to the permitted use (gazebos, sheds, guest house in accordance with Section 17.08.230 of the Lancaster Municipal Code, swimming pools/spas)	P	P	P
i. Public or private parks and playgrounds or community/recreation centers.	P	P	P
j. Animal keeping in accordance with the provisions of Section 17.08.180 of the zoning code.	P	P	P
k. Home occupation/Home office in accordance with Section 17.08.200 of the zoning code	P	P	P
l. Small family day care as defined in Section 17.08.190 of the zoning code (up to 7 children).	P	P	X
m. Large Family day care in accordance with Section 17.08.190 of the zoning code.	D	X	X
n. Daycare Centers in accordance with Section 17.08.190 of the zoning code.	D	D	D
o. Adult Daycare or day healthcare	D	P	P
p. Private and quasi-public uses of an educational or religious type, including public and parochial elementary schools, junior high schools, high schools and colleges, nursery schools, licensed day care facilities for more than five children, churches, parsonages and other religious institutions	C	C	C
q. Accessory Units in accordance with applicable State law and chapter 17.08.240 of the zoning code.	D	D	X
r. Public Safety Facilities	P	P	P
s. Wireless telecommunications facilities (stealth), in conjunction with a non-residential use	D	D	D
t. Utilities including water quality basins, pump stations, utility vaults, etc.	P	P	P
u. Electric vehicle charging station, solar energy systems (non-commercial)	P	P	P
v. Non-commercial wind energy systems	D	D	D

## 3.0 DEVELOPMENT REGULATIONS

**Table 3-2  
Development Standards, Residential Planning Areas**

Item	Dimension (see following pages)	LDR	MDR		HDR
			Detached	Attached	
Density Range		2.1-6.5 du/ac	6.6-15 du/ac		15.1-30 du/ac
Minimum Lot Area		4,000 sf	2,000	--	6,000 sf
Maximum Building Coverage		55%	70%	70%	50%
Percent Landscaping (hard and soft-scape)		--	15%	15%	15%
Percent Recreation Area/Usable Open Space		--	8%	8%	8%
Lot Width (min) Interior Corner	A	45 ft. 50 ft.	35 ft. 55 ft.	variable 75 ft.	60 ft. --
Parking (min)		Per code	Per code	Per code	Per code <sup>1</sup>
Front Yard/Build-to Living space to back of sidewalk (Min.) Porch	B C	10 ft. 5 ft.	10 ft. 5 ft.	10 ft. 5 ft.	10 ft./20 ft <sup>2</sup>
Garage Setback (front) Face of garage to back of sidewalk (Min.)	D	18 ft.	18 ft.	18 ft.	--
Side Yard (Min) Interior Corner/Street	E F	5 ft. 10 ft.	5 ft. <sup>3</sup> 10 ft.	0 ft. 10 ft.	15 ft. 20 ft.
Rear Yard	G	10 ft.	10 ft.	10 ft.	15 ft.
Building Height (Maximum)		35 ft.	35 ft.	35 ft.	55 ft./72 <sup>4</sup> ft.
Accessory Structure Height		15 ft.	n/a	n/a	15 ft.
Building Separation Standard Condition		10 ft.	10 ft.	10 ft.	10 ft.
Alley Condition		30 ft.	30 ft.	30 ft.	30 ft.
Motor Court Condition/garage to garage		--	30 ft.	30 ft.	30 ft.
Front to Front		--	20 ft.	20 ft.	25 ft.
Solar Provision		Per code	Per code	Per code	Per code

Notes:

- Setbacks shall be measured to back of sidewalk. If no sidewalk, setback shall be measured to right-of-way.
- Also see below for dimensions

<sup>1</sup> For apartment projects exceeding 16 units a parking setback of 40 feet from the front property lines applies.

<sup>2</sup> If apartment development fronts on Avenue L (Arterial) minimum setback of 20 foot applies.

<sup>3</sup> Minimum Building Separation is 10 feet. If a zero lot-line product is proposed the side yard setback on one side may be zero.

<sup>4</sup> If apartment development exceeds 16 units, larger height limit applies.

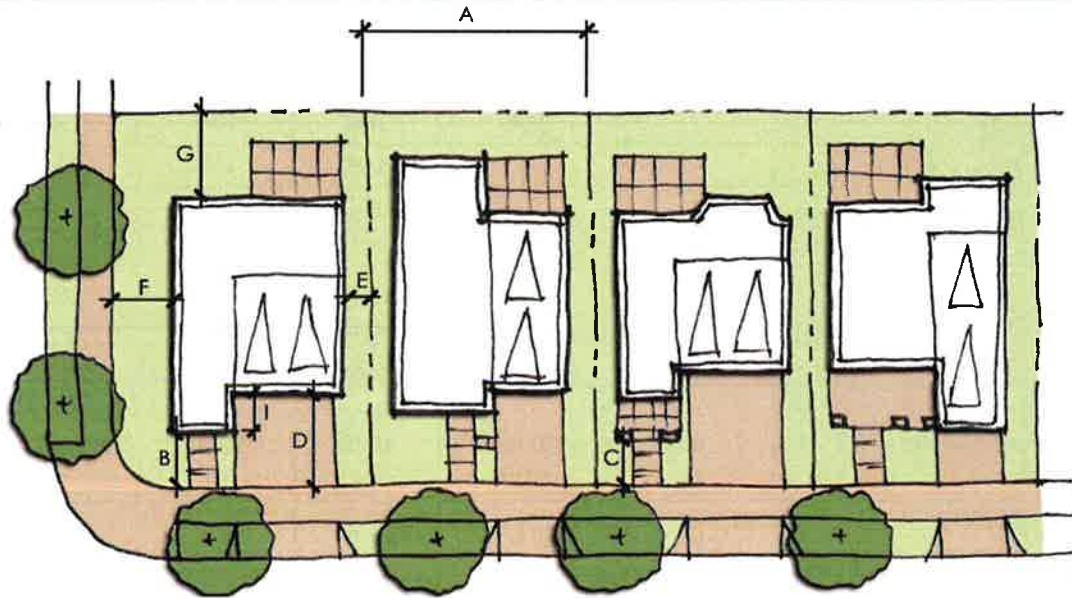


### 3.0 DEVELOPMENT REGULATIONS

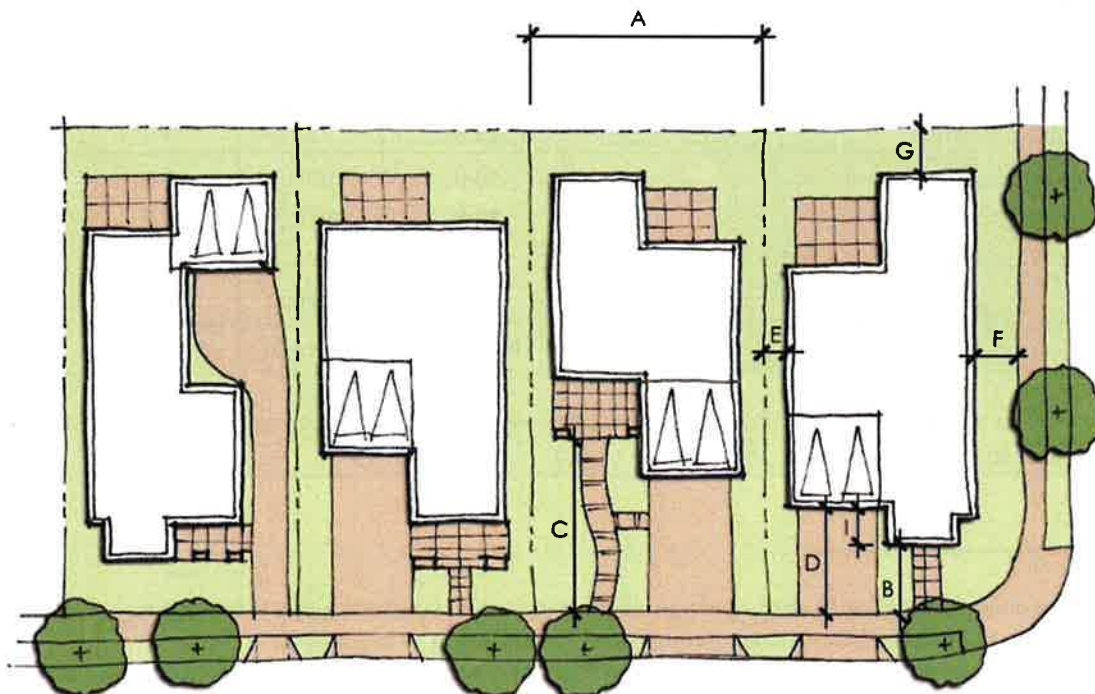
#### Dimensions

Below are example residential product examples with typical dimensions as referenced in Table 3-2, *Development Standards, Residential Planning Areas*. Note that these illustrations are for conceptual planning purposes only. Actual lot dimensions and product types may vary, and these illustrations are not intended to limit or preclude the use of new or different product types in each density category.

#### *Low-Density Residential*



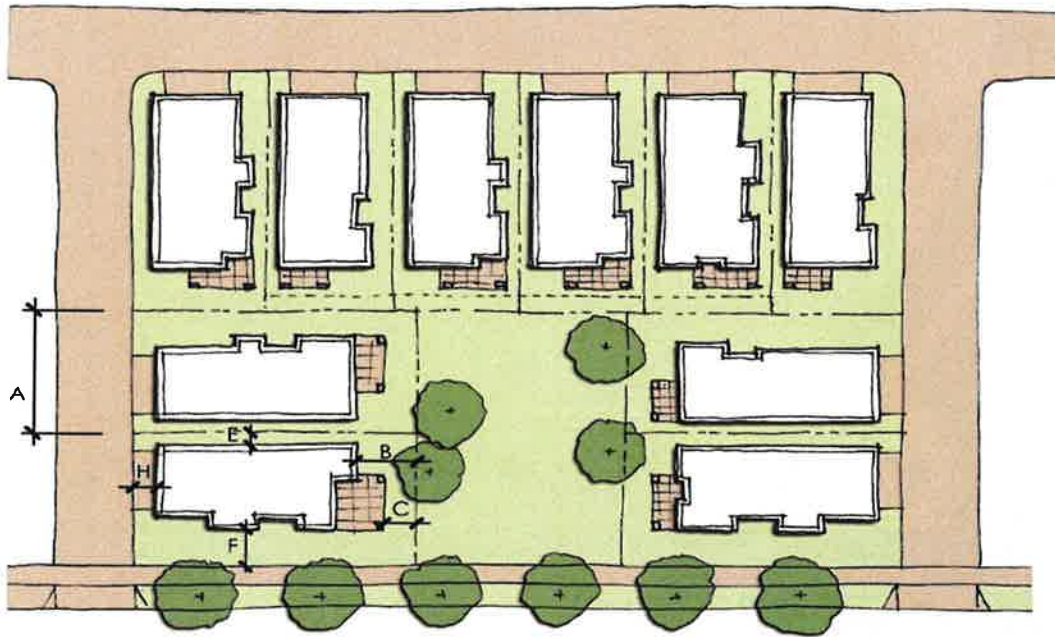
#### *Medium-Density Residential Detached Small Lot*



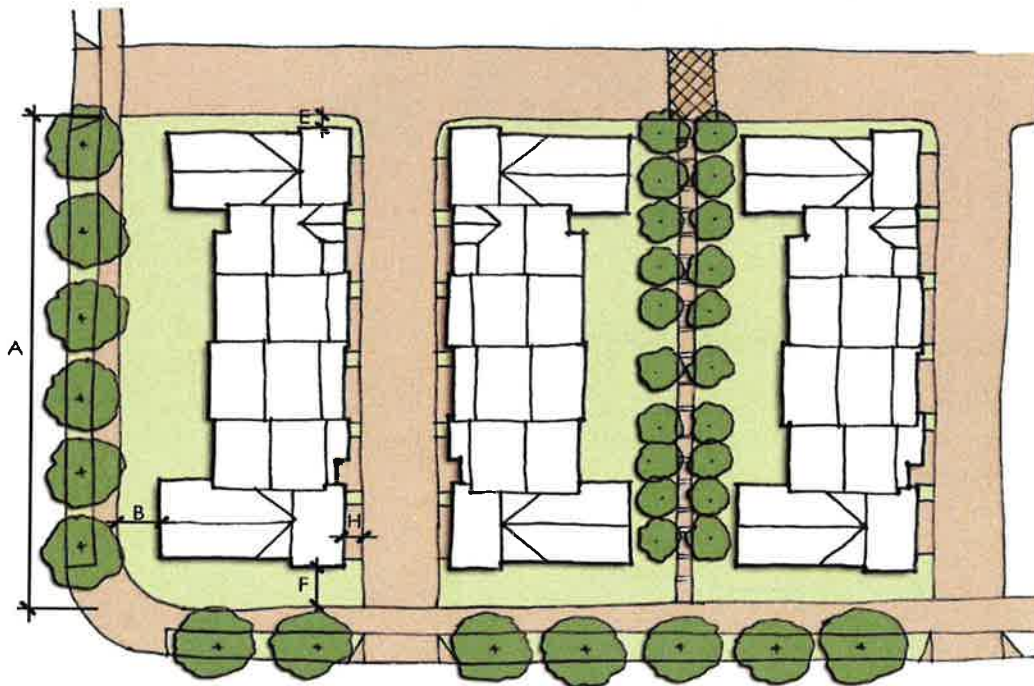


### 3.0 DEVELOPMENT REGULATIONS

*Medium-Density Cluster Residential Detached (alley access)*



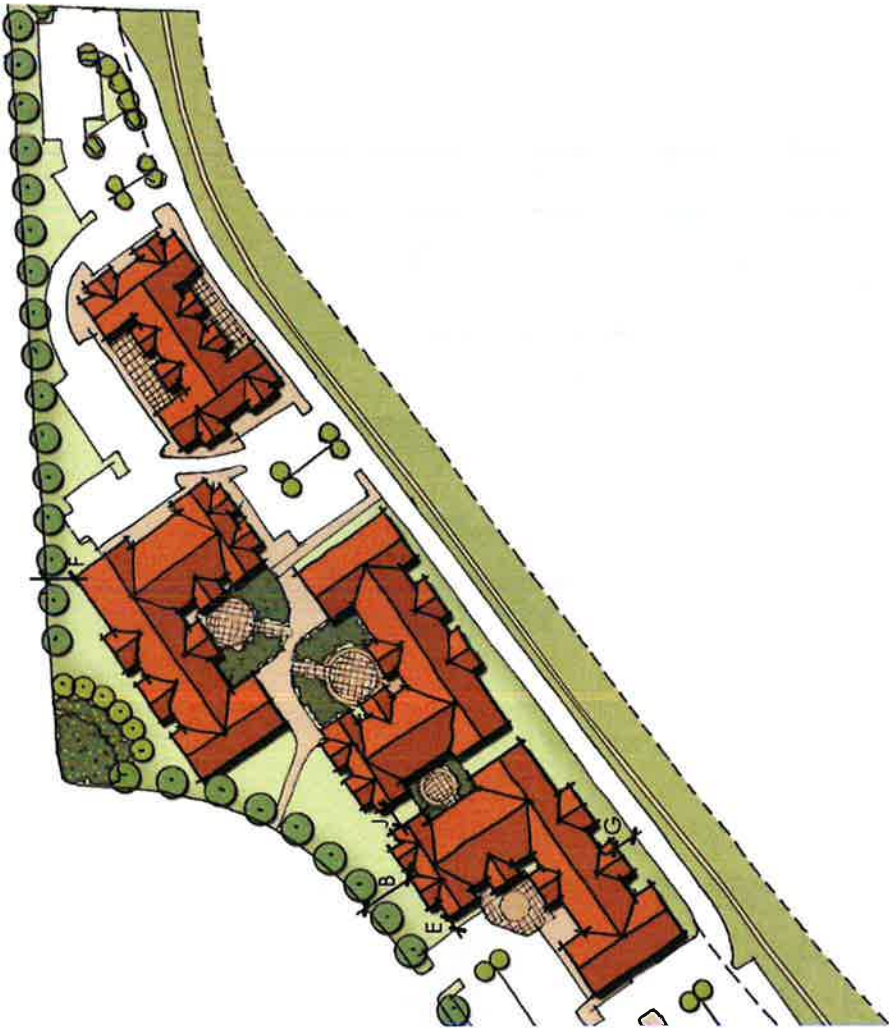
*Medium-Density Residential Lot (attached with rear lane access)*



# 3.0 DEVELOPMENT REGULATIONS

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## *High-Density Residential (attached with surface parking)*



### Accessory Structures in Residential Planning Areas

Guest houses/casitas are permitted subject to the provisions of Section 17.08.230 of the Lancaster Municipal Code. The architectural style and articulation of a guest house/casita shall be consistent with and of similar quality as the main structure.

## 3.0 DEVELOPMENT REGULATIONS

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### 3.4 COMMERCIAL DEVELOPMENT STANDARDS

The Commercial designation provides for a variety of land uses such as retail commercial, entertainment, civic, senior continuum of care/assisted living, medical office, and office. These uses can be distributed vertically and horizontally. The Commercial land use provides locations for businesses that meet the day-to-day shopping and service needs of the residential uses. Commercial uses are typically anchored by a grocery store but may also provide an array of retail and service commercial uses.

**Senior-Oriented Commercial.** Approximately 124,700 square feet of Commercial/Office is proposed on approximately 8.2 acres (Planning Areas 26 and 29) west of the proposed active adult community. Uses will be primarily small-scale retail, food service, medical, and professional services meant to serve the daily convenience needs of the project's residents, however expanded senior-serving commercial uses are also allowed in these planning areas. Such uses could include skilled nursing, assisted living, convalescent care and other similar uses in support of the active adult component of the plan.

#### General Commercial Standards:

- Main or multistory structures shall be located on the site in such a way as to facilitate internal circulation and to minimize visual impacts on adjacent residential units.
- All main or multistory buildings should generally be oriented to the interior of the site rather than to existing perimeter streets. Where possible, primary access to the buildings and parking areas shall be through an interior street circulation system.
- Principal activity areas, including but not limited to the primary entrances to buildings, shall be oriented away from existing residential uses with more passive activities such as plazas/gathering spaces being located nearer to those residential uses.
- Open and landscaped areas shall be provided around buildings and shall be employed to highlight primary entrances. A minimum of one plaza/gathering space shall be provided in each commercial center.
- Parking areas shall be located to provide efficient and convenient access to uses and to contribute to an overall circulation pattern.
- A landscaped area not less than fifteen (15) feet wide shall be maintained along any property line to the extent it abuts a street, except at approved driveways.
- Parking lot landscaping shall be provided, with a parking lot tree ratio of one tree for every six (6) parking spaces.

#### Patio Dining

Outdoor seating, in conjunction with business, is encouraged to enliven the street scene, especially along commercial edges. Patio dining areas may be either connected or separated from building face. If separated, the space between seating area and building face must be a minimum of 8 feet to allow pedestrian traffic. A maximum 10-foot encroachment onto park/paseo or setback areas is permitted. Patio areas may be enclosed by the tenant by open rail compatible with the architecture of the building, hedges or other suitable separation.



### 3.0 DEVELOPMENT REGULATIONS

<b>Table 3-3 Permitted Uses, Commercial Planning Areas</b>	
P – Permitted D – Director’s Review C- Conditional Use Permit X-Not permitted	
USE	
<b>Administrative Uses</b>	
General, Governmental, or Executive Offices	P
Clerical Services	P
Research & Development	P
<b>Retail Commercial</b>	
Apparel and Accessory Stores	P
Art Galleries	P
Building materials and garden supplies (such as hardware stores, nurseries and garden stores, paint, glass, tile and wallpaper stores, plumbing, heating and electrical supply stores, etc).	P
Food service including restaurants, convenience foods, specialty foods, and catering	P
Food Service with Drive-thru	D
Food and Beverage Stores, including Bakeries, candy, nut and confectionery stores, Convenience Markets, Dairy products stores, meat, fish and produce markets.	P
General Merchandise, including large-format, discount, and wholesale/warehouse types stores, retail sales (no adult-oriented businesses)	P
Residential and commercial or office uses in the same structure subject to Section 17.12.230 of the municipal code	D
<b>Service Uses</b>	
Assisted Living/Skilled Nursing/Memory Care, Congregate Care, long term care and similar uses (PA 26 and 29 only)	D
Business services such things as Accounting and Bookkeeping, Advertising and Public Relations Agencies, architectural and engineering firms, financial services, legal services, Commercial Photography, Art and Graphic Design, and Custodial Services.	P
Pet stores and veterinary clinics	P
Health services, including health care offices and clinics, laboratories (medical and dental), medical supplies, optometrists, physical therapy, specialty out-patient clinics, medical offices, urgent care	P
Insurance Agents and brokers, real estate agents and brokers, title services	P
Personal Services such as Barber/Beauty shop, Carpet and Upholstery Cleaning, Currency Exchange (check cashing), Laundry and Dry Cleaning Services, Linen Supply, Locksmith, Pet Grooming, Photographic, Studios, Picture Framing, Shoe Repair and Shoeshine Parlors, Tailors/Dress Makers, Ticket Agencies, and Travel Agencies	P
Lodging, including hotel/motel, including extended stay hotels	C
Social services, including individual and family services (counseling, family planning or other similar services) and tutorial services	P
Adult Day Care	P
Athletic and health clubs	D



## 3.0 DEVELOPMENT REGULATIONS

Table 3-3 Cont'd	
Permitted Uses, Commercial Planning Areas	
P – Permitted	D – Director’s Review
C- Conditional Use Permit	X-Not permitted
Educational Services, including public and private preschools, elementary schools, secondary schools, colleges and universities and learning centers, vocational schools	C
Schools for personal enrichment, including art, music, martial arts, and dance schools and studios	P
Parks, community centers, plazas, civic uses, open space	P
Civic, Cultural, Institutional	C
Day Care Centers including employer-provided on site	D <sup>5</sup>
Movie theaters, performing arts centers, commercial entertainment	D
Automobile Service Stations	D
Manufacturing and storage as an accessory use (no more than 25% of ground floor area)	D
<b>Other</b>	
Public Utilities	D
Electric Vehicle Charging Stations	D
Public Safety Facilities such as fire stations, police stations and similar facilities	P
Communications Facilities and services	D
Mini Wireless Telecommunication Facilities per Section 17.40.640 of the zoning code	D
Small wind energy systems subject to Section 17.40.690	D
Entertainment Uses including theaters, bowling Alleys and similar uses	C
Alcohol Sales (on- and off-sale) subject to Section 17.42.020	C

### Pedestrian Orientation and Connectivity

Fostering pedestrian activity along interior circulation corridors is critical to the interactive nature of the Avanti South’s commercial areas. Interior circulation corridors, with commercial frontages shall have appropriate planting and paving features to accommodate pedestrian activity.

Shaded courtyards or plazas are required to be incorporated into building layout and design of each commercial center to provide comfortable pedestrian space. Such courtyards may feature elements that enhance the pedestrian experience such as fountains, trellises, umbrellas, shade trees, comfortable tables, chairs and benches, kiosks, etc.

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<sup>5</sup> May be allowed by Director Review if processed as part of a site plan.

### 3.0 DEVELOPMENT REGULATIONS

Table 3-4 Development Standards, Commercial Planning Areas	
Item	Standard
Lot area (minimum square feet)	10,000 sf
Maximum Floor Area Ratio (FAR)	0.5
--With Residential Mixed Use	1.25
Parking on-site spaces (minimum)	Director Review
Mixed-use shared parking	Director Review Study Required
Building Setback from Perimeter right-of-way	
Arterial	20 feet
Collector	10 feet
Local	10 feet
Interior Side and Rear building setback	10 feet
Min. parking setback (right-of-way to parking)	10 feet
Building height (maximum)	50 feet *
Minimum distance between buildings	15 feet
Landscaping site coverage	15%
<b>Notes:</b>	
<ul style="list-style-type: none"> <li>Setbacks shall be measured from right-of-way. Setback areas must be landscaped.</li> </ul> <p>*architectural features such as clock towers, focal elements, cupolas, etc. may extend beyond the maximum height by up to 10 feet. Porte-cocheres for hotels if provided, may have a maximum height of 35 feet.</p>	

### 3.5 LIVE/WORK

“Live/Work” is a mixed-use building type that is designed to accommodate non-residential work areas in addition to, or combined with, living quarters. The residential and commercial spaces are clearly identified and separated and all uses are in compliance with applicable government codes. Live/Work units, although suitable for home occupation uses, have specialized workspaces that can accommodate more intensive work activities than would be appropriate for an exclusive residential building. Images of live/work architecture may be found in Section 4.3, *Architectural Guidelines* of this document.



## 3.0 DEVELOPMENT REGULATIONS

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Live/Work opportunities shall be limited to Medium and High Density Residential planning areas and may develop in one of two scenarios: 1) live/work may be included in a vertical mixed-use setting with residential units located over retail/commercial/office (see Commercial list of permitted uses); or 2) live/work may also occur in multi-family live/work buildings such as townhomes and lofts, and would be a stand-alone multi-family workspace.

Live/Work is an appropriate transitional use between primarily commercial and primarily residential areas within the project. Live-Work standards of the Lancaster Municipal Code section 17.08.210 shall apply.

**Applies to:** Planning Areas 22, 23, and 28 only.

### 3.6 SCHOOL SITE STANDARDS

#### 3.6.1 Permitted Uses

The following uses are allowed within Planning Area 21, designated as a school site:

- a. Elementary/Middle schools (public or private)
- b. School related uses such as auditoriums, cafeteria, lighted ball fields, playgrounds
- c. Parking
- d. Utilities and drainage facilities
- e. Public parks as a shared use
- f. Low Density Residential Uses (pursuant to Section 3.6.2 below)

#### 3.6.2 Underlying Land Use

The proposed school site will be offered to the School District for elementary school use for project-related school needs. At the time of project build-out, or upon written notification by the District that the school site is not needed for school uses, the use of the school site may revert to an underlying land use designation that allows Low Density Residential uses as defined in the land use section of this Specific Plan. Development Regulations for Low Density Residential uses shall apply.

Such reversion of land use shall not require an amendment to the Specific Plan provided that such reversion does not increase the total number of residential units within the Specific Plan. Should additional units above the maximum allowable residential unit count be requested, an amendment of the Specific Plan unit limitation shall be required.

#### 3.6.3 Parking

Parking for schools shall be provided in accordance with Chapter 17.08.100 of the zoning code. Elementary schools are parked at a ratio of 15 spaces per 100 students.

## 3.0 DEVELOPMENT REGULATIONS

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### 3.7 PARK/RECREATION SITE STANDARDS

This zone includes the neighborhood and linear parks in the Specific Plan area. These parks are located throughout the project as shown on Figure 2-4, *Parks and Open Space*. Recreation in all parks may be active or passive in nature.

#### 3.7.1 Permitted Uses

- a. Active and passive recreational uses as described in the Parks and Recreation Plan and Guidelines by park type, including but not limited to play fields, courts, tot lots, picnic areas, fitness courses, pools/spas, dog parks, disc golf, etc.
- b. Private clubhouses or community centers
- c. Restrooms, shade structures, storage/maintenance sheds
- d. Community Gardens
- e. Botanic Gardens
- f. Amphitheaters
- g. Utilities
- h. Roads, Driveways, Parking
- i. Drainage features including water quality basins, bioswales, etc.
- j. Water play features
- k. Antennas subject to the requirements of the Lancaster zoning code
- l. Sporting and recreational camps
- m. Child daycare centers

#### 3.7.2 Temporary Uses

- a. Construction activities, including materials and equipment storage and construction offices.
- b. Seasonal sales such as Christmas trees, pumpkins, vegetables and related items.

#### 3.7.3 Building Height

No park building may exceed one story in height except that a split-level or multi-level design may be approved as part of Director's design review.

### 3.8 PARKING

Except as specified in this Specific Plan document, parking within the Avanti South Specific Plan shall be per Chapter 17.08.100 and 17.12.220 of the City of Lancaster Zoning Ordinance.



## 3.0 DEVELOPMENT REGULATIONS

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- Residential driveway designs shall conform to City Standards.
- All large commercial uses, except medical, require one loading space unless otherwise noted in the Code.
- Appropriate queuing, with six- to eight-car stacking, for drive-thru banks and pharmacies shall be provided.
- On-street loading spaces shall have appropriate loading, time/day signage for the space.

### 3.8.1 Parking Requirements

Parking within the Avanti South Plan shall generally conform to the requirements of the Lancaster Zoning Code except as specified herein. Accessible parking and loading requirements shall be governed by Section 17.08 and 17.12. The following is a summary of the off-street parking requirements for the project:

**Commercial/Office:** No minimums. Director review at the time of design review<sup>6</sup>.

**Restaurant:** No minimums. Director review at the time of design review.

**Shopping Center:** No minimums. Director review at the time of design review.

**Single Family Residential:** 2 spaces per dwelling unit within an enclosed garage.

**Apartments:**

- Studio-1 bedroom: 1.5 spaces per dwelling unit covered or within a garage.
- 2 or more bedrooms: 1.5 space per dwelling unit, covered or within a garage plus 0.5 uncovered spaces per unit of open parking.
- Guest Parking: 0.25 space per unit (uncovered).

**Condominiums:** 2 spaces per dwelling Unit within an enclosed garage and 0.25 guest spaces per unit.

**Senior Apartments/Condominiums:** 1 covered spaces per unit plus 0.25 guest spaces per unit. Multi-Family projects exclusively for seniors: 0.6 spaces per unit.

### 3.8.2 Landscaping

Landscaping for parking lots shall be required in conformance with Section 17.08, which includes a requirement for a ten-foot landscaped setback abutting a street.

### 3.8.3 Shared and Off-Site Parking

Where opportunities exist for shared parking between uses with staggered peak parking demands, owners and developers should make every possible effort to take advantage of this opportunity to reduce total area devoted to parking within each site or parcel. The intent of a shared parking program is to

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<sup>6</sup> See Section 5.2.3 for further details regarding Director review.

## 3.0 DEVELOPMENT REGULATIONS

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reduce land devoted to parking, thereby providing for open spaces, gathering spaces, walkways or other amenities.

- Shared parking in commercial centers or mixed-use areas may be allowed subject to a shared parking analysis approved by the Development Services Director.
- Reduced parking requirements for senior facilities may be utilized, either as part of a density bonus or based on a parking evaluation prepared at the time of site plan review.

## 3.9 SIGNAGE

Signage within the Avanti South Specific Plan shall conform to the requirements of the Lancaster Zoning Code except for those monument signs specifically identified in Section 4, *Design Guidelines*.



# 4 DESIGN GUIDELINES

This section explains design concepts and establishes design policies and design guidelines for development within the Specific Plan area. These guidelines address the built form for the various land use designations as well as general guidelines related to mobility and parking, landscaping and signage.





## 4.0 DESIGN GUIDELINES

### 4.1 INTRODUCTION

This section contains the community design, landscape and architectural design guidelines for the Avanti South community. These guidelines, when implemented, will ensure that Avanti South develops as a quality master planned community with consistent design elements. These guidelines are intended to provide general direction to planners, builders, architects, landscape architects, and engineers on implementing the vision and community design framework for the community. The design guidelines should be used in conjunction with the development standards described in the project's Development Regulations (Section 3).

The essence of good design includes both creativity and flexibility. These design guidelines are intended to foster these ideals and promote innovative design solutions. They are not meant to depict actual neighborhood, lot or building design. To encourage creativity and innovation, the design guidelines express "intent rather than absolutes," thus allowing a certain degree of flexibility in fulfilling the intended design goals and objectives.



### 4.2 GENERAL PLANNING GUIDELINES

The residential neighborhoods of Avanti South will incorporate a variety of home design within a pedestrian friendly environment, close to schools, nearby parks and open spaces; as well as vibrant commercial centers. The resulting neighborhoods are encouraged to embrace comfortable human scale in both architecture and landscapes and well-proportioned spaces formed by appropriately positioned and articulated architecture.

The goals of the design guidelines are as follows:

- To provide the City of Lancaster with the necessary assurances that development within the master planned community will attain the desired level of quality;
- To establish criteria for site design, architecture, landscape design, streetscape design, parking design, lighting, and other distinguishing features that define the community;
- To create highly desirable neighborhoods that are an asset to the Specific Plan area and the City of Lancaster;
- To encourage sustainable design solutions that reduce energy consumption; use and replenish water efficiently; and minimize waste.

## 4.0 DESIGN GUIDELINES

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- To serve as design criteria for use by planners, architects, landscape architects, engineers, builders and future property owners;
- To provide guidance to the City when reviewing future development within the Specific Plan area; and
- To avoid unnecessary delays by providing a viable framework and clear direction without limiting the creativity of the designer.

Avanti South is envisioned as a master planned community consisting of a collection of neighborhoods that will be compatible and connected with one another, and integrated with the area's setting and the surrounding community. The community design embraces pedestrian oriented development that incorporates a variety of land uses and a wide range of housing types, all anchored by easily accessible public spaces.

Community entries and residential neighborhood entries consist of a thematic blend of special landscape treatments, architectural features or special lighting to serve as area landmarks. Refer to Section 4.4.6, *Community Gateways and Entry Monumentation*, for additional information.

In Avanti South, neighborhoods will be designed to connect to activity centers, services, shopping and employment areas, schools, and recreational facilities via streets, paseos, sidewalks and pedestrian trails.

The terms "shall", "should", and "may" are used within the design guidelines. The term "shall" is used to denote a design standard where compliance is required. The term "should" is used to denote a guideline that is recommended, but not required in all circumstances. The term "may" is used to denote a design treatment that is allowed or optional.

### 4.2.1 Sense of Place

Successful neighborhood design depends on a combination of integrated site planning, architecture, and landscaping. The project approach ensures that each neighborhood has a distinctive character and "sense of place." The promenades, interlinked parks and community commercial areas are three major elements that have been considered in Avanti South's community design.

#### Promenades

A significant series of interlinked promenades are one of the key placemaking elements within the Avanti South community. The linked promenades give shape to the design and focuses on community connections and the pedestrian experience. The promenades will range in width from 70 to 80 feet and will incorporate shaded landscape, fitness course elements, and multipurpose trails. The entire promenade system will be designed to offer residents a place for strolling, playing, and resting.



## 4.0 DESIGN GUIDELINES

### Parks

Parks are important elements that help to establish the overall sense of community. An interconnected system of neighborhood parks will provide a continuous open space network through the project. These open spaces will greatly enhance opportunities for different levels of social and recreational functions. Parks will be strategically located within walking distance of nearby homes for ease of pedestrian connectivity.



### Neighborhoods

Residential neighborhoods within the Specific Plan area will be designed with multiple points of trail access, central park areas, and high quality architecture with a variety of compatible styles.

### Commercial Centers

The overall design concept for commercial centers will establish a focal area where people shop, dine, work and play. At key locations, plazas and courtyards will be designed to serve as gathering spaces where residents may stop to enjoy a cup of coffee, read the newspaper or socialize with their neighbors. The public space elements that will be incorporated into each commercial center will be based upon the ultimate uses proposed.



The following guiding principles set the general direction for planning and design of the commercial centers:

- Create denser, compact development patterns that support a diverse mix of land uses, define public spaces and encourage pedestrian activity.
- Provide well-designed, attractive buildings that establish a high quality, distinctive character.
- Activate the streets with ground-level retail, dining and entertainment uses, outdoor public spaces and pedestrian-friendly streetscape amenities, where applicable.
- Provide convenient access to the promenades, paseos, multipurpose trails and community open space system, sidewalks, residential areas and recreational facilities.
- Encourage open-air plazas that are pedestrian friendly and act as a focal point for surrounding development.



## 4.0 DESIGN GUIDELINES

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### 4.2.2 Walkable Streets

Attractive, safe and walkable streets will be provided throughout the community. Street pattern and character may vary to reflect the surrounding land uses and development intensity. In general, streets in the commercial areas should be animated by active architecture with a diversity of activities, streetscapes, squares and plazas.



Avanti South is designed to promote a strong relationship between streets and homes. Homes will be designed to have a direct relationship to local streets. One way to enhance security is to orient rooms, doors, and windows toward streets and public areas and incorporate architectural elements such as front porches.

The design of the Landscape Master Plan discussed in the following section provides continuous parkways along streets, uniform street trees on each street, promenades and drainage ways, as well as sidewalks for pedestrian connectivity, where applicable. The goal is to create intimate, socially interactive and secure neighborhoods that encourage street activity, promote walking, and allow convenient access to parks, school, and shopping. Streets in the residential neighborhoods should have sidewalks separated from the curbs with street trees in the landscape parkway.

To create more livable streets, it is also necessary to control traffic and reduce speeds. On-street parking, use of roundabouts, and narrower street cross sections will help to calm traffic in residential neighborhoods.

A well-connected community encourages residents to use multiple modes of transportation. Increased connectivity will be accomplished by linking community amenities like the commercial centers, school, open space and parks, through a network of promenades, paseos, trails, bike lanes, sidewalks and transit routes.





### 4.3 ARCHITECTURAL GUIDELINES



The Avanti South architectural guidelines have been prepared to provide the framework for high quality design within the project area. The architecture guidelines express the desired character of future development and address site planning and architecture. Avanti South is designed to be an integrated residential community. Common development features such as signage, landscape and hardscape, walls and fences, and architecture are controlled throughout the development to provide consistency and express a strong, collective design statement.

The architectural guidelines establish design and development criteria to ensure a unified environment within the Specific Plan area. The guidelines are not intended to limit innovative design, but rather provide clear direction and design criteria.

#### 4.3.1 Residential Guidelines

##### Home Types

The land use plan for Avanti South includes neighborhoods with a variety of home types, ranging from traditional single family homes to multifamily homes.

- **Front-Loaded Single Family Detached.** This home type is an individual, freestanding, unattached dwelling unit on an individual lot. Homes are typically set back from the street with primary entries which face the street, with private rear and side yards. Garages are typically in the front or side and face the street with driveways.
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- **Alley-Loaded Single Family.** This home type is typically set back from the street with building orientation towards the street, where primary entries and walkways face the street, and have private rear and side yards. Vehicle access to the home is via rear-facing garages accessed via a private alley.
  - **Single Family Detached Cluster.** This home type is comprised of single-family detached dwelling units clustered around an auto or green court. This product typically includes four to six units in a cluster ("four-pack" "six-pack"). Primary entries and walkways face the motor court or the street. Private outdoor living spaces can occur in the side and rear yards. Automobile access is via private motor courts or street. Resident parking spaces are provided in garages, and guest parking spaces are provided on private driveways, public or private local streets, or designated on-site parking spaces.
  - **Attached Motor Court Cluster.** This home type are attached homes with living spaces oriented toward the street community paseos. Homes enter from either a motor court or green space. The units have private outdoor living space. Automobile access is via street or motor court. Resident parking spaces are provided in garages, and guest parking spaces are provided on local streets or in designated parking areas. Common open space is often provided in the form of an amenity area.
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## 4.0 DESIGN GUIDELINES

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- **Row Townhomes.** This home type is single-family attached homes with primary entries facing street or common open space, typically attached side-by-side in a row creating the illusion of a single building. The units have private outdoor living space (balcony or patio). Automobile access is via an alley or private street. Resident parking spaces are provided in garages, and guest parking spaces are provided on public or private local streets or in designated parking areas. Common open space is often provided in the form of an amenity area.
- **Flats/Multi-family.** Multi-Family flats are attached multi-family homes, either as a rental product or ownership condominium with entries from common open space. Automobile access is via an alley or private drive. Resident parking spaces are provided in garages or designated on-site parking spaces, and guest parking spaces are provided on local streets or in designated parking areas. Common open space is often provided in the form of an amenity area.



### Residential Architectural Styles

Avanti South is envisioned as a community with a variety of architectural styles where architectural massing, roof forms, detailing, walls and landscape are integrated to reflect regional and climate-appropriate styles. The following styles should be utilized as a basis for residential development within the Specific Plan area:

- Monterey
- Spanish Eclectic
- Italianate/Tuscan
- California Ranch
- Craftsman/Bungalow
- Cottage/Traditional

On the following pages, each architectural style is defined by elements that are typical characteristics of that style. Suggested elements are those that help to further define the character of each style. A representative number of these elements will be required for each homebuilder. These style elements apply only to the front and publicly visible side and rear elevations. The photographs are intended to illustrate some of the typical characteristics of each style and are not intended as inflexible requirements or standards.






In Low Density neighborhoods, the use of multiple themes with a range of styles is required. This approach creates variety in the massing, scale, proportions and materials, which is appropriate to the scale of the street scene. It also reflects the diversity found in Lancaster's existing neighborhoods.

Medium Density and High Density neighborhoods may utilize only one architectural theme of compatible architectural styles and character. This approach creates the compatibility necessary to address the intensity, scale, and massing associated with medium and high density homes in these neighborhoods.

## 4.0 DESIGN GUIDELINES

### MONTEREY

With influences from both the Spanish and New England Colonial homes, the Monterey style includes Spanish detailing with the Colonial style form. Buildings of this style include stucco or masonry walls with “S” or flat concrete shake roofs and exhibit many elements of historical Spanish homes, including simple building form and mass, rusticated corbels (structural elements jutting from the wall), head trim, posts and balconies (if used), and gable roof forms. Monterey style buildings often have porches and second floor balconies or verandas; however, these are not essential. Successful adaptations of this style focus on careful massing, detail, and the natural beauty inspired by a blend of rich Spanish and Colonial heritage and influences.

Elements	Typical Characteristics	
<b>Massing</b>	<ul style="list-style-type: none"> <li>▪ Typically two stories</li> <li>▪ Simple posts on balconies</li> </ul>	
<b>Roofs</b>	<ul style="list-style-type: none"> <li>▪ Low pitched gable roofs (3.5:12 to 5:12 roof pitch)</li> <li>▪ Second story balcony often cantilevered and covered by roof</li> <li>▪ Overhangs at eaves</li> <li>▪ Tight to 12” overhangs at rakes</li> <li>▪ Flat or “S” concrete tiles in variegated colors (red clay is predominant)</li> <li>▪ Exposed rafter tails</li> </ul>	
<b>Walls</b>	<ul style="list-style-type: none"> <li>▪ Stucco, smooth to light sand finish</li> <li>▪ Rusticated brick on first floor or wood</li> <li>▪ Painted brick</li> <li>▪ Board and batt at upper level</li> <li>▪ First and second stories often have different finish materials</li> </ul>	
<b>Windows</b>	<ul style="list-style-type: none"> <li>▪ Shutters on feature windows</li> <li>▪ Vertically proportioned window configurations</li> <li>▪ Windows with divided lites</li> <li>▪ Decorative shutter hardware and pot shelves</li> </ul>	
<b>Details</b>	<ul style="list-style-type: none"> <li>▪ Covered porch or entry</li> <li>▪ Simple columns with base trim</li> <li>▪ Shaped wood corbels</li> <li>▪ Head and sill trim</li> <li>▪ Appropriately styled door and hardware</li> <li>▪ Spanish inspired lighting</li> <li>▪ Roll-up or carriage style garage door</li> </ul>	






## 4.0 DESIGN GUIDELINES

### SPANISH ECLECTIC

The Spanish Eclectic style takes its cues from the early Spanish missions and is an adaptation of Mission Revival, with additional Latin American details and elements. The style became widely popular after the 1915 Panama-California Exposition. This style may be a compatible blending of Spanish elements and may include Santa Barbara style, Spanish Colonial, and Mission Revival.

The use of tile roofs, smooth stucco walls, heavily textured wooden doors, and highly articulated ornamental ironwork create strong contrasts of materials and textures. Plans can be designed around a courtyard with a simple articulated front facade. Other design treatments may include scalloped windows and balconies with elaborate grillwork, decorative tiles around doorways and windows, and a bell tower.

Elements	Typical Characteristics	Images
<b>Roofs</b>	<ul style="list-style-type: none"> <li>▪ Main gable roof (front to back)</li> <li>▪ 3.5:12 to 5:12 roof pitch</li> <li>▪ Tight to 12" overhangs at rakes</li> <li>▪ 8" to 12" overhangs at eaves</li> <li>▪ "S" concrete or clay tile</li> <li>▪ Cross gable at front</li> <li>▪ Shaped, stucco eaves or rafter tails</li> </ul>	
<b>Walls</b>  <b>Windows</b>	<ul style="list-style-type: none"> <li>▪ Stucco</li> <li>▪ Trim around front and visible windows</li> <li>▪ Grid patterned</li> <li>▪ Plank shutters on accent windows</li> </ul>	
<b>Details</b>	<ul style="list-style-type: none"> <li>▪ Decorative gable treatment</li> <li>▪ Front porch with wood-like or stucco columns</li> <li>▪ Corbels at wood-like columns</li> <li>▪ Decorative metal grille work, pot shelf, balcony railing, etc.</li> <li>▪ Round top arched openings</li> </ul>	








## 4.0 DESIGN GUIDELINES

### ITALIANATE/TUSCAN

The Tuscan style is inspired by the informality of the rural farmhouse and settlement buildings typical in traditional villages in Tuscany. These structures often included traditional square towers and were created with indigenous materials and colors to blend with the surroundings. Landscape is seen as an extension of the living space, so courtyards and gardens were common features.

Tuscan is characterized by low-pitch irregular roof lines which may be punctuated by a tower or campanile. Exterior walls are stucco with stone or adobe accents, often on the front entry.

Elements	Typical Characteristics	Images
<b>Roofs</b>	<ul style="list-style-type: none"> <li>▪ Main hip roof with gable ancillary roofs</li> <li>▪ 3.5:12 to 5:12 roof pitch</li> <li>▪ Tight overhangs at rakes and eaves</li> <li>▪ "S" concrete tile or clay tile</li> <li>▪ Secondary shed or gable roofs over 1-story element</li> <li>▪ Shaped Rafter tails</li> </ul>	 
<b>Walls</b>	<ul style="list-style-type: none"> <li>▪ Stucco</li> <li>▪ Stone or adobe block accent at front elevation</li> <li>▪ Large expanses of stone or brick veneer from base of wall to roof overhang</li> </ul>	
<b>Windows</b>	<ul style="list-style-type: none"> <li>▪ Grid pattern on front and visible windows</li> <li>▪ Trim around front and visible windows</li> <li>▪ Paneled shutters at accent windows</li> <li>▪ Precast or simulated pre-cast window trim</li> <li>▪ Recessed windows</li> <li>▪ Decorative shutter hardware</li> </ul>	
<b>Details</b>	<ul style="list-style-type: none"> <li>▪ Decorative metal elements</li> <li>▪ Arch or flat soffit arch above entry</li> <li>▪ Tower elements</li> <li>▪ Covered entry or porch</li> </ul>	

## 4.0 DESIGN GUIDELINES

### CRAFTSMAN/BUNGALOW

The Craftsman architectural style has influences from the English Arts and Crafts movement of the late 19th century and was stylized by California architects such as Bernard Maybeck in Berkeley and the Greene brothers in Pasadena. Craftsman combines hip and gable roof forms with wide, livable porches, and broad overhanging eaves.

Built-in elements define this style with details such as windows and porches treated as furniture. The horizontal nature is often emphasized by exposed rafter tails and knee braces below broad overhanging eaves and rustic texture building materials. Together, these treatments create a natural, warm, and livable home with artful and creative character. Variations and divergences in expression are common, especially between the Northern and Southern California influences.

Elements	Characteristics	
<b>Mass</b>	<ul style="list-style-type: none"> <li>One and two story massing with covered porches</li> </ul>	
<b>Roofs</b>	<ul style="list-style-type: none"> <li>Main gable roof</li> <li>3.5:12 to 5:12 roof pitch</li> <li>12" to 24" overhangs at rakes</li> <li>Flat concrete tile or other material with shingle appearance</li> <li>Shaped outlookers</li> <li>Exposed rafter tails</li> <li>Intersecting gable element</li> </ul>	
<b>Walls</b>	<ul style="list-style-type: none"> <li>Stucco</li> <li>Lap or shingle siding with stucco accents</li> </ul>	
<b>Windows</b>	<ul style="list-style-type: none"> <li>Grid patterned upper half at front and visible windows</li> <li>Trim around front and visible windows</li> <li>No shutters</li> <li>Lap or shingle siding</li> </ul>	
<b>Details</b>	<ul style="list-style-type: none"> <li>Entry porches with columns or posts on piers</li> <li>Unique lighting fixtures</li> <li>Stone or masonry porch piers</li> <li>Garage door with Craftsman style windows</li> </ul>	




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### CALIFORNIA RANCH

The Ranch architectural style originated in the United States and is generally noted for a long, close-to-the-ground profile, and minimal use of exterior and interior decoration. Ranch combines modernist ideas and styles with the American Western period working ranches to create casual, informal living style.

First built in the 1920s, Ranch was popular with the post-war middle class from the 1940s to 1970s. Mostly built as single story homes, there are two story variations.

Common features include simple and open floor plans, attached garages, large windows and sliding glass doors that open to a patio, large overhang eaves, vaulted ceilings with exposed beams, cross- or side-gabled and hip roofs, and simple, rustic trim. They often incorporate board and batten siding, dovetails, large eaves, and extensive porches.

Elements	Characteristics	
<b>Roofs</b>	<ul style="list-style-type: none"> <li>▪ Gable or hip roof</li> <li>▪ 3.5:12 to 5:12 roof pitch</li> <li>▪ Asphalt/composite shingles</li> </ul>	
<b>Walls</b>	<ul style="list-style-type: none"> <li>▪ Wood, stucco, or plaster exterior walls</li> <li>▪ Stone, brick, or other accent materials especially along the front facade at the base and near the entrance</li> </ul>	
<b>Windows</b>	<ul style="list-style-type: none"> <li>▪ Trim around front and visible windows</li> <li>▪ Grid patterned</li> <li>▪ Shutters as accent</li> <li>▪ Dormer windows</li> </ul>	
<b>Details</b>	<ul style="list-style-type: none"> <li>▪ Front porch or patio</li> <li>▪ Roll-up style garage door</li> </ul>	



## 4.0 DESIGN GUIDELINES

### AMERICAN TRADITIONAL/AMERICAN COTTAGE

Cottage is a picturesque style that evolved from the Tudor and Norman domestic architectural styles. The cottage style became extremely popular after the adoption of stone and brick veneer techniques. Overall shapes and forms include variation of one and two story asymmetrical facades. Most recognizable and distinct features of this style are the stucco and wood or half-timber accents in the gable end.

American Traditional is a combination of several themes including styles such as Georgian Revival, Cape Cod, New England Colonial and Farmhouse. Characteristic elements of this style are windows with wood shutters, the use of brick veneer and/or wood siding and heavy trim above doors and windows. Combined one and two-story massing with single story elements and gabled roofs with dormered windows are classic variations of this style.

Elements	Typical Characteristics	Typical Images
<b>Massing</b>	<ul style="list-style-type: none"> <li>■ Rectangular or asymmetrical massing with some recessed second floor</li> <li>■ Breaks in massing</li> </ul>	
<b>Roofs</b>	<ul style="list-style-type: none"> <li>■ Main hip or gable roof with at least one intersecting forward gable or hip roof</li> <li>■ 5:12 to 12:12 roof pitch except min. 3.5:12 at 1-story roofs</li> <li>■ Tight to 6-inch overhangs at rakes</li> <li>■ 6" to 12" overhangs at eaves</li> <li>■ Flat concrete tile or composition shingles</li> <li>■ Distinctive roof over entry</li> <li>■ Use of Dormers.</li> </ul>	
<b>Walls</b>	<ul style="list-style-type: none"> <li>■ Stucco or wood siding</li> <li>■ Stone accents on front elevation</li> </ul>	
<b>Windows</b>	<ul style="list-style-type: none"> <li>■ Grid patterned at front and visible windows</li> <li>■ Trim around front and visible windows</li> <li>■ Plank shutters at accent windows</li> <li>■ Wood shelves at window sills</li> </ul>	
<b>Details</b>	<ul style="list-style-type: none"> <li>■ Covered entry</li> <li>■ Front porch with wood-like or stucco columns</li> <li>■ Braces at wood-like columns</li> <li>■ Wood or wrought iron balcony railings</li> </ul>	



## 4.0 DESIGN GUIDELINES

### Architectural Design Criteria

The plotting of homes should be designed to achieve visual diversity and interest in the street scene through varying setbacks, articulated building massing, or enhanced elevations on residences plotted on corner lots. To help achieve dynamic street scenes the following architectural style, plan and color scheme requirements must be met:

- A minimum of two (2) plans, three (3) elevations and three (3) color schemes for neighborhoods up to 70 homes.
- A minimum of three (3) plans and three (3) elevations and four (4) color schemes for neighborhoods up to 150 homes.
- No identical single-family detached plans and elevations are permitted side by side.
- Reverse footprints of identical plans are allowed adjacent to one another, provided each has a different elevation and color scheme.
- The two houses on either side of a specific lot must all use different color schemes than that specific lot.

### *Building Orientation*

Buildings should be designed so that living activities are oriented towards the street and architectural detail and interactive architecture—including porches, courtyards, entries, and windows—are emphasized.

Architecture and site design shall respond to the regional climate by providing indoor-outdoor transitional spaces. Deeply covered, shaded, and protected areas create visual depth and interest while providing shelter and appropriate pedestrian scaled spaces for the public. A selection of the following features shall be utilized to provide meaningful outdoor spaces:

- Porches, patios, verandas, courtyards, and gardens that accommodate outdoor seating areas or enhance entries.
- Trellises that create a covered walkway to protect pedestrians from the sun, and provide aesthetic relief and a pedestrian scale to larger buildings.
- Deep overhangs that provide shade and protection, but only used when appropriate to the architectural style and character of the building.



## 4.0 DESIGN GUIDELINES

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- Awnings that cover entries or windows. Awnings shall be no longer than a single window and shall be of a style and color complementary to the architectural style and character of the building.
- Loggias that provide covered seating/gathering areas.
- A range of dwelling unit sizes, floor plans, and elevations shall be provided.
- Garages should be plotted next to garages and living space next to living space where feasible to undulate the street pattern and improve opportunities for on-street parking.



- Orient homes adjacent to perimeter streets to avoid long expanses of block walls adjacent to the rights-of-way. Unrelieved walls should not be the primary street view.

### *Massing and Architectural Enhancements*

- Varied building setbacks should be used when possible to provide articulation and functional features such as entrances, courtyards, outdoor dining or seating areas, etc.
- Bay windows, stepped buildings, height changes, and setback variations are encouraged between buildings to break up large buildings and create attractive, interesting entries and facades.
- Architectural elements such as windows, gables, arcades, awnings, and other similar features should be used to break up the massing of large buildings.
- Facades that are visible from streets, trails, outdoor gathering spaces, parks and open spaces, and parking areas shall be articulated to improve the design quality. Publicly visible facades shall include many of the following elements/treatments:
  - Change in plane;
  - Change in colors, textures, materials, or masonry patterns;
  - Stylized and/or recessed face, windows, or doors;
  - Upper floor step-back;
  - Overhanging roof eaves, porticos, awnings, canopies, lattice, or grates;
  - Columns, posts, or tower elements;
  - Three-dimensional expression lines, cornices, or roof parapets;
  - Ribs or pilasters;
  - Piers and fenestration pattern;
  - A tree or other prominent and decorative landscaping features; and
  - An equivalent element that subdivides the wall into human scale proportions.

## 4.0 DESIGN GUIDELINES

- Completely blank side and rear building facades shall be avoided. These facades should include articulating elements such as windows, columns, changes in wall texture or color, change in wall plane, or other design feature that breaks up the mass of the building. The level of articulation of side and rear facades, especially those with limited public visibility, may be less than that of the front facade, but they shall not be devoid of articulating elements altogether. Four-sided architecture is encouraged.

### *Windows and Doors*

- Windows should be proportional to the facade and reflect the architectural style and character of the building.
- Window size and shape should provide a balanced relationship with the surrounding roof and walls.
- Accent shutters are encouraged (as appropriate to the architectural style of the building). Accent shutters shall be proportional to the window opening to appear functional. Shutters should be placed adjacent to the window frame in a manner that doesn't look "tacked on" or fake.
- Windows should further enhance, not dominate, the overall architectural character. Large unbroken expanses of glazing should be avoided.
- Energy efficient windows are required.
- Operable windows are strongly encouraged, to provide natural ventilation and to enhance the indoor-outdoor relationship.
- Accent entry doors, traditional French doors, arched windows/doorways, shutters, pot shelves and window boxes, accent trim, and glass sliding doors are strongly encouraged, as appropriate to the architectural style.
- Windows with clear glazing are strongly encouraged. Dark tinted or reflective glass should be avoided.
- Architecturally compatible relief detailing is encouraged on entry doors.
- Upper story windows that are visible from streets, walkways, parks, and common open spaces shall be designed with window trims and grids that match the front elevations of the structure.



### *Materials, Colors, and Finishes*

- A variety of high-quality, durable colors must be provided to create interesting and attractive building designs and avoid monotony.
- Exterior colors and materials should be used to define the building form, details, and massing.
- When plotting the same floor plan immediately adjacent to and/or across the street from one another, a different elevation style should be used. Exterior color schemes should be varied for adjacent units with the same elevation style.

## 4.0 DESIGN GUIDELINES

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- When multiple buildings proposed, a minimum of two color schemes should be provided for each architectural style. In general, each color scheme should have 1 or 2 complimentary main colors and up to three (3) complementary accent colors that are appropriate for the architectural style and character of the building.
- Materials and colors used on the front facade shall be wrapped along the side facade to an inside plane or to an appropriate transition point several feet beyond the front elevation to avoid the appearance of false facades.
- Decorative elements shall be used to break up the plane of the facade and create visual interest. Encouraged decorative elements include shutters, exposed rafter ends, cross beams, decorative grille work, decorative stucco, clay pipe vents, decorative ceramic tile, and other similar features that are appropriate for the architectural style and character of the building.
- Building details such as flashing, pipes, and metal vents may be used as an enhancement with complimentary colors/materials or painted to match the building or roof surface so as to virtually disappear.
- The natural color of brick, stone, and tile should be utilized.
- Green materials that withstand local environmental conditions are strongly encouraged, including recycled-content carpet, cellulose insulation, engineered lumber, certified wood, natural floor coverings, and recycled-content interior finishes.
- Low and no volatile organic compound (VOC) paint and finishes are required.

### *Roofs*

- Roofs must be constructed of high-quality, durable roofing materials and colors that are consistent with the architectural style of the building. Acceptable roofing materials include clay tile, and concrete tile. Unacceptable materials include pressed wood, corrugated fiberglass, and asphalt roll roofing or shingles.
- A variety of roofing forms, pitches, slopes, details, and high-quality, durable materials should be used on buildings, and shall be compatible with the overall style and character of the building.
- Roof heights shall be varied to create visual interest and avoid monotony.
- Gable ends should be separated so they are not located adjacent to each other.
- Traditional cupolas and dormer-type elements are encouraged as accents on residential buildings.
- Roof colors and materials that meet or exceed Energy Star requirements shall be used to reduce the heat island effect.





## 4.0 DESIGN GUIDELINES

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- Rooftop solar panels, solar films, small-scale wind turbines, and other similar features may be used to generate energy.

### *Garages*

- Garages may be attached or detached to provide variety between floor plans.
- Garage placement shall be varied to avoid monotony. Architecture design shall vary the placement and orientation of garages. Variations include:
  - Rear-loaded garages accessed via a rear alley;
  - Garages recessed behind the front home facade;
  - Side-entry/Swing-in garage; and
  - Side drive garage (attached or detached).
- Garages must be recessed into the wall plane to provide shadowed relief.
- Multi-paneled roll-up style garage doors are strongly encouraged.
- Garage door patterns and colors should be varied between units.
- A combination of single and double car garage doors are encouraged to provide variety.



## 4.0 DESIGN GUIDELINES

### 4.3.2 Live/Work

Live/Work is a mixed-use building type designed to accommodate non-residential work areas in addition to or combined with living quarters. Live/Work units will be located adjacent to a street with resident parking behind the unit and on-street parking available for customers in front of the unit.

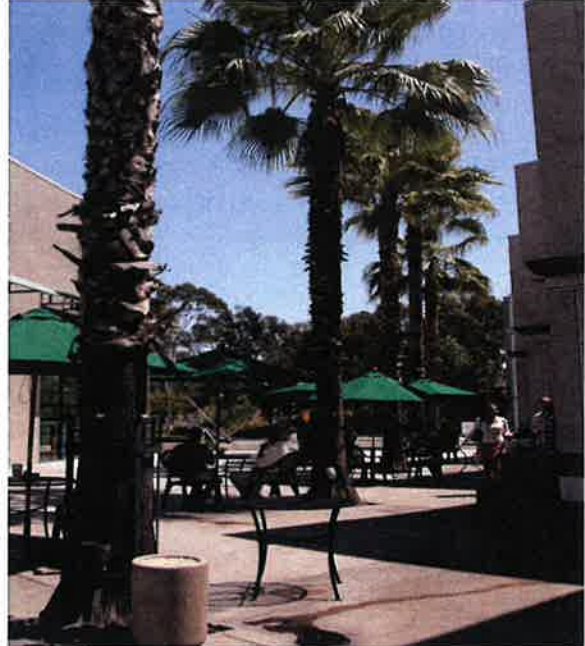
- Live/work functions best as a transition between residential and commercial land uses.
- Live/work residential opportunities should be incorporated into the retail neighborhood and medium density residential neighborhoods fronting on commercial uses.
  - There should be direct pedestrian access at the front street for each individual business.
  - Residence space should be located on the top floor.
  - Retail/commercial/office uses should be located on the ground floor level with frontage onto public sidewalks and plazas.
  - Private enclosed garage space for the residents should be located away from the “public” side.
- Encourage building design that emphasizes the pedestrian realm through compressed front setbacks, and human-scale detailing.
- Massing, setbacks and orientation of buildings are intended to reinforce the pedestrian street experience. A live/work façade should be designed to have a distinct base, middle, and top (as appropriate based on the height of the building). The dividing line between the first-floor commercial base and the second floor residential should be clearly defined through a change in materials or color, cornice, or awnings.
- Each residential unit should provide some useable outdoor space, in the form of a garden patio or deck.



### 4.3.3 Commercial/Office Guidelines

#### General

- The placement and design of retail/commercial buildings should convey a physical and visual link to the streets, sidewalks and plazas. Primary entries and windows should front onto these spaces, be easily identifiable and inviting.
- In conditions where retail/commercial and office uses are within the same building, office uses shall be primarily on the second floor with retail/commercial on the first floor. In conditions where residential uses are included in the same building as the other uses referenced above, residential uses shall be on the top most floors.
- Buildings should frame plaza spaces. Decorative awnings, covered walkways and other appropriate façade elements that add variety and interest should be incorporated onto the front façade of buildings facing onto commercial plaza spaces.
- Commercial site planning should provide passive open space with flexibility and opportunities for café tables, seating, social gatherings, special events, street performances etc. Fountains, sculptural elements, banners and thematic signage/lighting and/or public art are encouraged.
- Parking lots should be to the rear of the buildings with strong pedestrian links to the storefronts and public plazas.





## 4.0 DESIGN GUIDELINES

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- Pedestrian paseos extending between buildings linking parking lots to sidewalks, plazas and public spaces should be a minimum of ten (10) feet wide, partially covered (trellis-like) or open, well lighted and appointed with decorative furnishings, wall treatments and landscape. Such areas may also be appropriate for outdoor dining opportunities.
- Pedestrian paseos should be straight with clear “through visibility”. Store entries and shop windows are encouraged along paseos.
- Strong pedestrian links/paseos should be provided from the commercial areas to adjacent residential neighborhoods.
- Live/work residential opportunities should be incorporated into edges facing retail or office areas. Residence space shall be located on the top floor. Retail/commercial/office uses should be located on the ground floor level with frontage onto public sidewalks and plazas. Private enclosed garage space for the residents should be located away from the “public” side, either to the rear or underground. The live/work units may be incorporated into a larger project, or may be separate from other uses.



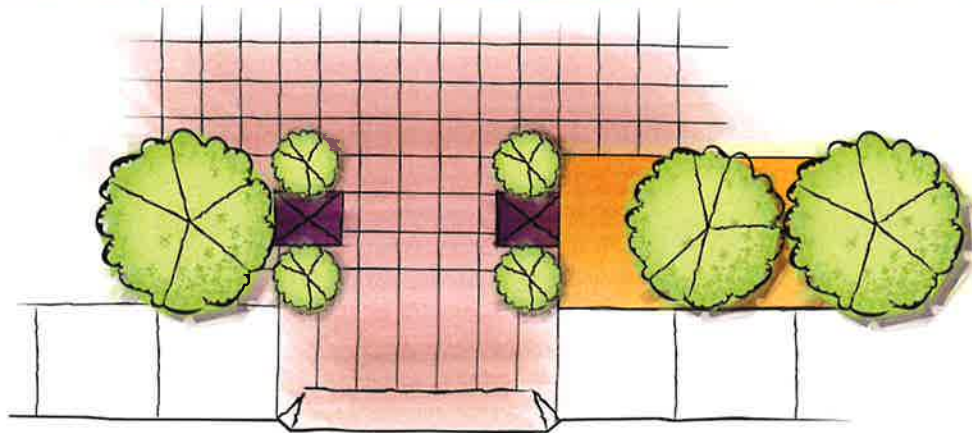
### Commercial Building Orientation

Building orientation for commercial and mixed-use land uses can take multiple forms depending upon the adjacent or facing land use. Where commercial uses abut residential uses this may take the form of a driveway or local street, or directly abutting low or higher density residential properties.

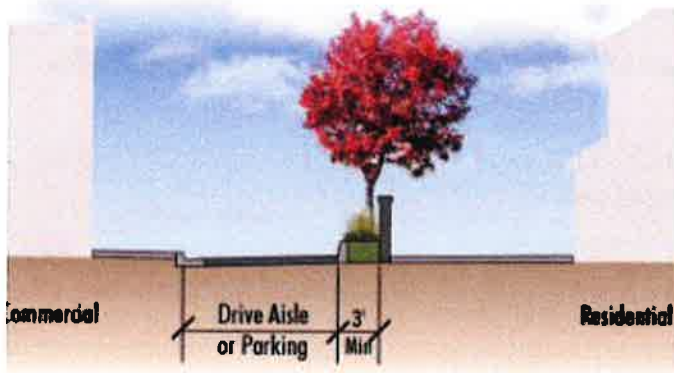
- Commercial spaces should be oriented for maximum visibility from streets to attract potential customers and support long-term viability.
- Buildings should be located adjacent to walkways, sidewalks, plazas, and other pedestrian spaces, while maintaining adequate visibility at vehicle driveways for motorists to see pedestrians.
- Parking setback in conjunction with streetscape plantings will create a landscaped edge and enhance the pedestrian experience.
- Windows and entries should face the street or other public space to encourage pedestrian activity.
- Walkways and landscaping shall be designed along buildings without direct street frontage to create a “street scene” where there is no street.
- Massing elements (e.g., tower features) are strongly encouraged to anchor corners or entries.
- Architectural details shall be applied to rear and side facades facing streets and other public spaces to avoid blank walls that could dominate public views.



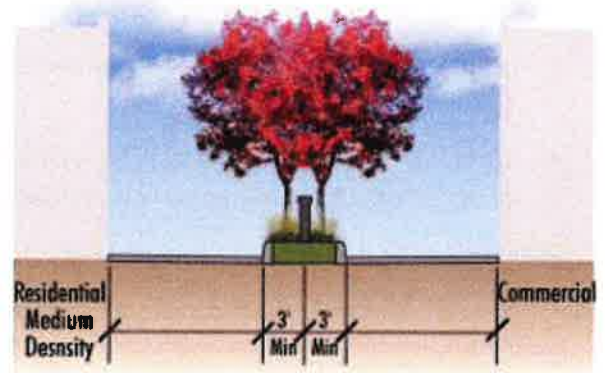
## 4.0 DESIGN GUIDELINES



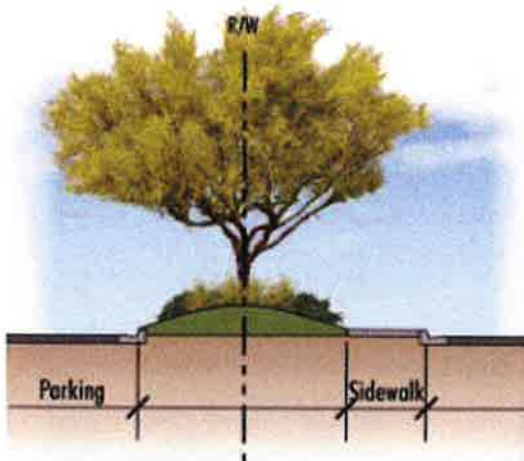
*Commercial entry at local Street with gateway elements and pavement treatment*



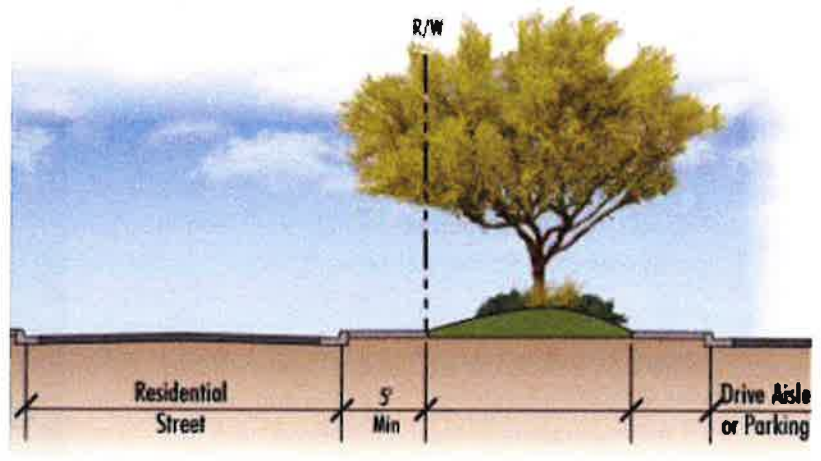
*Commercial Edge at Low Density*



*Commercial Edge at Medium Density*



*Commercial Edge at Multifamily*



*Commercial Edge at Local Street*

## 4.0 DESIGN GUIDELINES

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### Restaurants

- Location and design should create or take advantage of gathering areas.
- Outdoor seating areas with tables, chairs, umbrellas, potted plants, trellises and other design features are strongly encouraged.
- Outdoor seating areas should be located and designed to be publicly visible.
- Franchise or chain restaurants should be designed to reflect the overall architectural style and character of the building or commercial area.

### Drive-through and Drive-up Uses

- The design of drive-up or drive-through facilities, whether attached or freestanding, shall reflect the architectural style and character of the building or commercial area, including colors, materials, and architectural design elements.
- The location and orientation of such facilities shall not detract from the building aesthetic, but shall be located to minimize view from sidewalks, walkways, and other public views.
- Sufficient aisle lengths shall be provided to prevent interference with street traffic and onsite circulation routes.
- Outdoor ordering systems shall be located to direct sound away from residential uses and common areas, or otherwise minimize noise impacts to these uses.

### Assisted Living and Similar Medical Uses

- Create a proper scale and character that avoids an “institutional” environment.
- Provide convenient drop-off/pick-up space at primary building entrance.
- Incorporate considerable landscaping, particularly in parking lots to promote pleasant views from inside the building(s).
- Incorporate pathways and seat areas into the site design.
- Where possible locate these uses near transit stops and service commercial uses.

### Architectural Character

- Consistency of architectural character, form, detail and scale should be clearly evident in the design and execution of all buildings in the retail/commercial portion of the commercial centers.
- Prominent and/or unique architectural elements should be positioned as the terminal focal points as viewed from roundabouts and the approaches along all streets leading to the roundabout.





## 4.0 DESIGN GUIDELINES

- One- and two-story building massing should occur. False second-story elements may be incorporated to provide for the variation in building massing and reinforce the enclosure of public spaces and plazas.
- Tower elements or other monumental features (within the allowed building heights specified in Section 3, *Development Regulations*) are strongly encouraged at focal points such as corners, plazas, major entrances, or where walkways meet sidewalks. All elevations of a tower element or monument feature shall be completely constructed, with no blank walls or partially finished sides.
- Consideration should be given to locating the second floor façade behind the setback from the first floor façade to provide relief in the building plane and provide for outdoor covered walkways, balconies etc.
- Large storefront windows are encouraged for neighborhood commercial uses to encourage pedestrian activity.
- Accent materials such as stone and brick, accent colors, door and window details, and other architectural enhancements should occur along the first floor/pedestrian level and along all publicly visible facades.
- Retail/commercial buildings fronting arterial streets, should have a high level of architectural detail and enhancement. A strong building base should be created through the use of cornices and ground floor massing.
- Rear facades facing onto parking lots should be enhanced to address the retail use within. Rear entrances to shops, where provided, and pedestrian paseos passing through buildings from the rear parking lots should be architecturally enhanced, easily visible and inviting.
- Storefront signage is required along rear facades facing onto parking lots and/or public spaces (as well as front facades facing streets and plazas).



## 4.0 DESIGN GUIDELINES

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### 4.4 LANDSCAPE GUIDELINES

#### 4.4.1 Landscape Master Plan

##### Purpose and Approach

The Avanti South Specific Plan includes a generous network of parks, paseos, pathways, and promenades. In addition, the project includes a variety of community gateways and recreational facilities. These are all major components of the overall community design and form the heart of the community. They provide an important aesthetic element, enhance community gathering places, encourage passive and active recreation, and enable the use of alternative transportation including biking, walking and horseback riding.

Landscaping throughout the project site will be compatible with the character of this area of the City, with specific goals to include:

- A community landscape, lighting, signage and amenity program that is consistent with the overall informal character of the area.
- A planting and irrigation program that employs water conservation measures through use of drought-tolerant plant material, water conserving irrigation systems and practices, and the use of reclaimed water if and when it becomes available.
- A landscape program that reinforces the principles of Low Impact Development (LID) for storm drainage, water infiltration and groundwater recharge for the project.
- A well maintained landscape program that defines and projects a quality community image and attracts new residents and visitors.
- A landscape program that appropriately screens parking lots, trash enclosures, delivery areas, equipment buildings, and other similar elements from public views.
- A landscape plan for parks and recreation areas that provides appropriate activities and facilities, provides shade, and adds color and texture.
- A vibrant streetscape plan that reinforces the sense of place and creates transportation corridors that are aesthetically pleasing and provide a comfortable environment for alternate modes of transportation to connect and co-exist.
- Encourage the use of edible plant materials in common open spaces.



Figure 4-1, *Landscape Master Plan*, illustrates the streetscape, greenspace, and community monumentation for Avanti South.



### 4.4.2 General Landscape Guidelines

The project's landscaped open spaces will be the backbone of the community and will establish Avanti South as an active community for people of all ages. The following guiding principles set the general direction for design of these landscaped spaces.



- The recommended plant palette includes both native and adaptive species of trees, shrubs, and ground cover. “Low” to “very low” water demand, hardiness, functionality, and aesthetics will govern. Where Table 4-2, *Plant Palette*, specifies plant materials by “spp.” (i.e. allowing a variety of types of that general plant), selection of native varieties should be prioritized.
- Plants with similar water use needs shall be grouped together in distinct hydrozones, and where irrigation is required, shall be irrigated in separate zones.
- High water use plants shall be discouraged and, where use is necessary, shall not be mixed with low or moderate water use plants.
- All non-turf plants shall be selected and planted appropriately based upon their adaptability to the climatic, soils, and topographical conditions within the project site.
- Specimen trees and shrubs with unique form and color are encouraged in prominent locations to create focal points throughout the community.
- Known invasive plants are prohibited within the project area.
- Where trees are planted adjacent to paving (sidewalks, parking areas), consideration shall be given to selection of trees with non-invasive surface roots, and for trees that are selected, provisions shall be made to install root barriers or equivalent devices to protect paving.

#### Minimum Planting Sizes

- Trees: minimum 15 gallon size
  - Tree plantings in or adjacent to bio-retention areas may utilize smaller container sizes where mass plantings are desired.
- Shrubs: minimum 1 gallon size
  - Exception for prominent areas (project entries, amenity center, parks, etc.): minimum 5-gallon size.
- Groundcover: minimum 1 gallon size, spaced to attain full coverage within 3 years.
  - Exception for bio-retention and other natural areas: certain native and adaptive species may only be available and appropriately established from liners/sprigs or flats.

## 4.0 DESIGN GUIDELINES

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### Limited Turf Areas

Turf areas shall be limited and should not be planted in the following conditions:

- Slopes exceeding 10%.
- Planting areas four (4) feet wide or less.
- Street medians, traffic islands, planter strips, bulb-outs of any size, or other areas where foot traffic is not expected.
- Turf areas shall be limited to areas of lawn that are necessary for certain active recreational purposes and active pedestrian use, such as parks and the recreation center. In areas that will not receive active foot traffic, such as along major streets or other common planting areas within the project, landscaping should rely primarily on native or adaptive grasses or drought-tolerant trees, groundcovers, and/or shrubs.
- Within individual residential lots and other landscaped areas (such as the recreation area), use of turf shall be limited to an aggregate area no greater than 25% of the total planted area within each lot or parcel.



### Water Conservation

- Streetscapes will utilize desert-adapted and native plant materials to minimize irrigation needs. Landscape concepts will utilize permeable materials such as decomposed granite and rocks/cobble to reduce irrigation demands.
- All planting areas will be irrigated with a high efficiency automatic irrigation system.
- The community shall be irrigated with reclaimed or recycled water wherever possible.

### Utility Placement

- Utility boxes should be grouped where possible and placed in landscape easements and shrub/groundcover areas. Boxes should not be placed in lawn areas unless absolutely necessary.
- Above grade utility boxes should be screened and planted to the extent possible while allowing required access and clearance, and providing for adequate sight distance if located near intersections.

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### Plant Materials

- The project's plant palette incorporates native and adapted trees, shrubs, and groundcovers to provide a pleasing landscape character. These plant palettes are in Table 4-2, *Plant Palette*. The City of Lancaster Plant List was used as a guide in the selection of the plant palette.
- All plantings within the Avanti South community will be selected from the palette of plants listed in this document or as modified in subsequent private builder level Design Guidelines (if provided) with final landscaping plans subject to approval by the City of Lancaster as part of design/site plan review.
- Landscaping within Avanti South must be designed in substantial conformance with this Specific Plan.
- Non-toxic, non-invasive, drought tolerant vegetation will be utilized adjacent to all public open space areas except for limited turf areas within active parks.
- The master Developer or individual builders will install all entry improvements concurrently with the street on which they front.
- Final landscape concept plans and construction plans for community entry treatments, streetscapes, park and open spaces and edge/buffer treatments shall be prepared by a licensed landscape architect and reviewed and approved by the City.



### 4.4.3 Streetscapes

Streetscape design is an integral component for creating community identity. The overall streetscape design goal for the Avanti South community is to create a healthy, efficient, and walkable community that promotes sustainable landscaping practices, strong pedestrian, bicycle and regional equestrian connections, and an exceptional quality of life. The streetscape components consist of sidewalks, street trees, landscape areas adjacent to the sidewalk, landscape setbacks and median islands where they occur. The intent of these design guidelines and plant lists is to provide flexibility and diversity in plant material selection while still maintaining an overall community theme. The designer will verify final tree selections as part of design review.

Streets within the Specific Plan area will be more than just circulation routes; they will also serve as community amenities, gateway and neighborhood identifiers, and a source of recreation. Street landscaping will maximize shade with trees, thereby reducing heat island effect and increasing the overall aesthetic appeal and comfort for bicyclists, pedestrians, and equestrians (on 70<sup>th</sup> Street West).

- Streetscape design will reflect the circulation hierarchy, while enhancing the overall sense of place. Proposed landscape design should reflect the local setting and the desired community character while using native and drought-tolerant species. To the extent feasible, native species should be used.
- The proper use of trees, shrubs, and groundcovers along the collector and arterial streets is critical to the success of the Avanti South Specific Plan area. Landscape planting will define the overall

## 4.0 DESIGN GUIDELINES

community character for many years to come. Streetscapes shall be designed to enhance the vistas throughout the community, while creating parkways for the enjoyment of residents and visitors.

- Trees should be planted to maximize shade along trails within the project.
- Planting themes are based on local and regional standards for streetscape design and local climate. The proper mix of palms, evergreen and deciduous trees, shrubs, and groundcovers shall provide quality environments for all seasons.

Below are general descriptions of the various landscape treatments for streets within the Avanti South Specific Plan area.

### Primary Arterials (70th Street West)

As a primary image corridor, landscaping along 70<sup>th</sup> Street West will primarily consist of a combination of specimen palms and canopy trees, arranged in a semi-formal manner. This roadway will feature both a 12-foot wide equestrian trail and a 12-foot multi-purpose trail along its east side, separated from the travel way by an 8-foot parkway. This roadway is situated within a 115-foot right-of-way and a 42-foot wide easement is proposed to accommodate the trails along the east side.

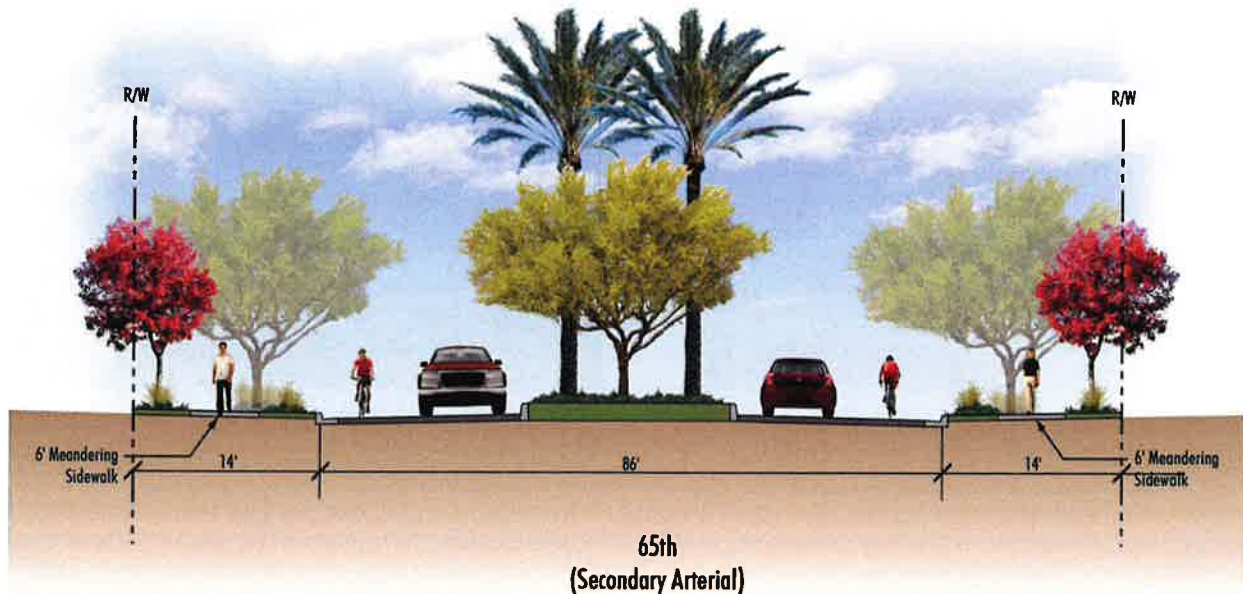




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### Secondary Arterials (65th Street West)

Also designated as a primary image corridor, landscaping within this 114-foot right-of-way will consist of a combination of clusters of specimen date palms and canopy trees in the center median, with canopy and flowering understory trees within the parkways on either side. This roadway features a 46-foot wide landscaped median with 14-foot parkways on either side. A 6-foot meandering sidewalk is proposed within the parkways.



### Residential Streets

Within the Avanti South Specific Plan area, there are a number of residential collector and local streets, identified on the Landscape Master Plan (Figure 4-1) and in the streetscape sections on the following pages. Figure 4-1 indicates those residential streets that have been also designated as secondary image corridors, indicating that the streetscape along these roads should be planned in such a manner as to distinguish them from the residential streets within the planning areas themselves. Both of these street types (collector and local) include sidewalks on both sides of the street adjacent to landscaped parkways. Within the parkways, canopy and understory trees will provide shade and frame the street.

Parking is generally assumed on all streets. Homes would have direct driveway access onto Residential Local streets but generally not onto collectors.

Streetscapes fall into the following categories:

- **Residential Collectors with Promenade.** These are backbone streets which provide an expanded median designed as a "Promenade" consisting of a 60-foot wide landscaped strip with landscaping, shade trees, 12- to 15-foot wide multipurpose trail, seating, and fitness stations. These promenade streets link neighborhoods and parks (see Figure 4-2, *Residential Collector Streetscape*).

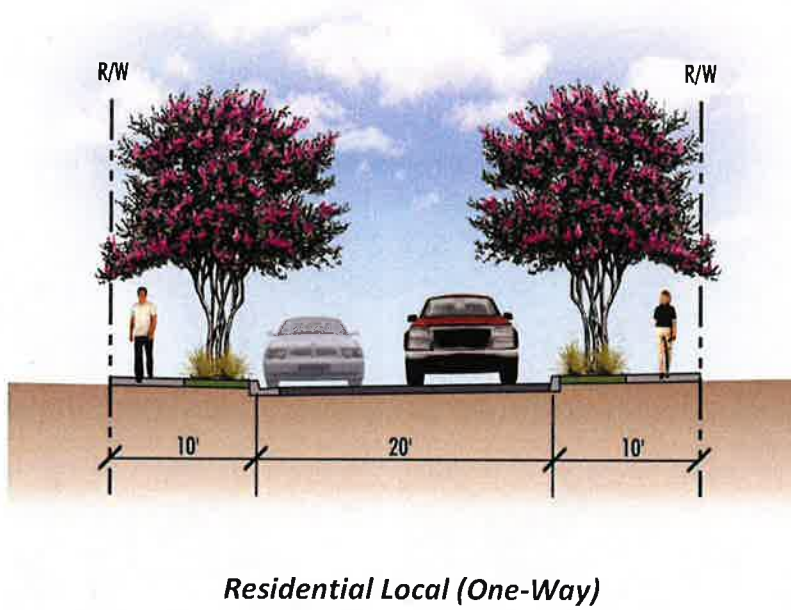
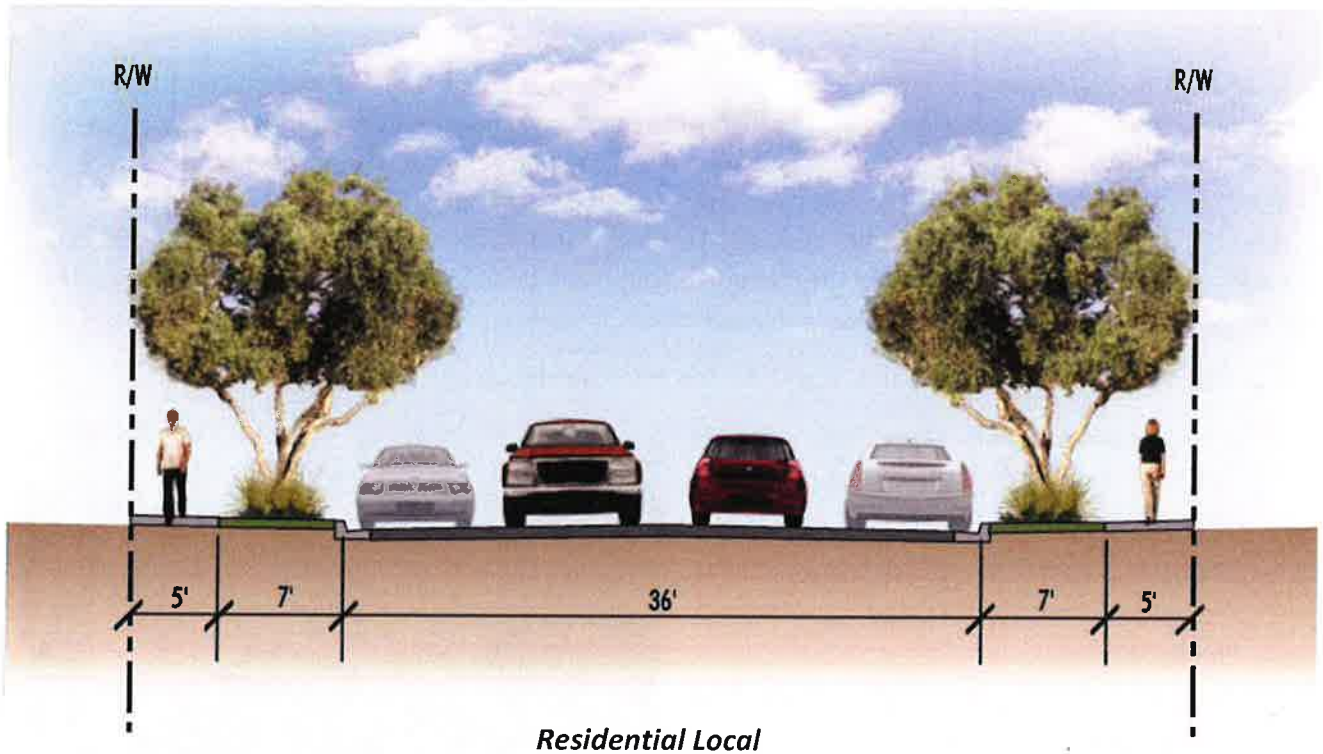
## 4.0 DESIGN GUIDELINES

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- **Residential Local Streets.** These are internal local streets within individual planning areas (see Figure 4-3, *Residential Local Streetscape*).
- **Residential Local Streets (One-Way).** These are residential streets which surround parks and planned as one-way streets as shown in Figure 4-3, *Residential Local Streetscape*.
- The plant palette for the project (See Table 4-2, *Plant Palette*) includes a variety of primary and accent trees for use along streets within the project area.



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## 4.0 DESIGN GUIDELINES

### 4.4.4 Storm Water Facilities

In addition to functioning as storm water conveyance and treatment facilities, the proposed drainage facilities within the project will also serve as landscape features and project amenities. These areas will take the form of swales or basins and will include bike paths meandering throughout as well as landscaping that will consist of riparian trees, grasses and groundcover. These areas may also serve as educational opportunities to promote an understanding of stormwater management through the use of informational signage which depicts the function of the swale and the types of landscape plantings that have been selected for their ability to survive periodic inundation.

The following guidelines should be followed for the aesthetic design of stormwater facilities:

- A multipurpose trail along the drainage facilities' upper edges is planned as part of the project's trail system.
- The basin area should be designed for at least 70 percent mature coverage to maximize biofiltration.
- Grasses shall be native or ornamental; turf species are discouraged. See Table 4-1, *Bioretention Plant List*, for plants appropriate in drainage basins and bioretention areas.
- The application of fertilizers and pesticides should be minimal.
- To maintain oxygen levels for the vegetation and promote biodegradation, it is important that vegetation not be completely submerged for any extended period of time. Therefore, a maximum of 6 inches of ponded water shall be used in the design to ensure that plants within the bioretention facility remain healthy.
- A 2 to 3-inch layer of standard shredded aged hardwood mulch or decomposed granite shall be placed as the top layer inside any bioretention facility.





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<b>Table 4-1</b> <b>Bioretention Plant List</b> Sources: CASQA LID Handbook, UC Davis LID Initiative		
Latin Name	Common Name	WUCOLS
<b>Trees and Shrubs</b>		
<i>Achilea millefolium</i>	Yarrow	L
<i>Amorpha fruticosa</i>	False Indigobush	M
<i>Artemisia douglasiana</i>	Mugwort	M
<i>Baccharis pilularis</i>	'Pigeon Point' or 'Twin Peaks' Dwarf Coyote Bush	M
<i>Cercis occidentalis</i>	Western Redbud	M
<i>Chilopsis linearis</i>	Desert Willow	M
<i>Heteromeles arbutifolia</i>	Toyon	L
<i>Justicia californica</i>	Chuparosa	L
<i>Mahonia oiwakensis</i> (M. lomarifolia)	Chinese Holly Grape	M
<i>Rosa woodsii ultramontane</i>	Mountain Wood Rose	M
<i>Sambucus mexicana</i>	Mexican Elderberry	M
<b>Grasses and Perennials</b>		
<i>Aristida purpurea</i>	Purple Three-Awn	L
<i>Carex praegracilis</i>	Field Sedge	M
<i>Carex spissa</i>	San Diego Sedge	M
<i>Carex tumulicola</i>	Berkeley Sedge	M
<i>Festuca californica</i>	California Fescue	M
<i>Heuchera</i> spp. (native varieties preferred)	Coral Bells	M
<i>Iris douglasiana</i>	Pacific Coast Iris	L
<i>Iris germanica</i>	Bearded Iris	M
<i>Juncus occidentalis</i>	Western rush	M
<i>Muhlenbergia rigens</i>	Deergrass	M
<i>Sporobolus airoides</i>	Alkali Sacaton	L

## 4.0 DESIGN GUIDELINES

### 4.4.5 Parks and Recreation

The following recreation and open space goals shall apply to the development of parks and recreation facilities and the provision of open space within the Specific Plan area:

- Provide a combination of passive and active recreation opportunities that meets the needs of residents and guests.
- Design neighborhood parks, pocket parks, the amenity center, and open space system to create and reinforce a sense of community identity and character.
- Create active, efficient, and inviting recreation facilities and open space areas.
- Create a network of accessible connections via streets, sidewalks, bike paths, promenades, paseos, and natural systems to provide greater opportunities for convenient non-vehicular circulation.

The Avanti South Specific Plan includes a connected network of neighborhood parks, trails, paseos, promenades, and green spaces. These are illustrated on Figure 4-4, *Parks and Open Space Plan*, below.



Figure 4-4 Parks and Open Space Plan

## 4.0 DESIGN GUIDELINES

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### Neighborhood Parks

Five different neighborhood parks are proposed and scattered throughout the project such that each neighborhood has access within a 5-minute walk to at least two different parks. These parks will be the central gathering areas within the community, and will provide the community with passive and active recreation.

Some of the park elements proposed include:

- Dog Parks;
- Playgrounds;
- Picnic Shelters and Picnic areas;
- Sand volleyball courts;
- Bocce and Lawn Bowling Courts;
- Fitness trails with stations;
- Open turf play areas; and/or
- Arbors and Pergolas.

All parks shall meet ADA requirements in terms of accessibility and shall be irrigated with reclaimed water if it is available.

Parks will be designed in association with the adjacent planning area and the design of each park may vary from the programming discussed in this Specific Plan, subject to City design review. Below are examples of two of the parks within the Avanti South Specific Plan to illustrate the potential design.

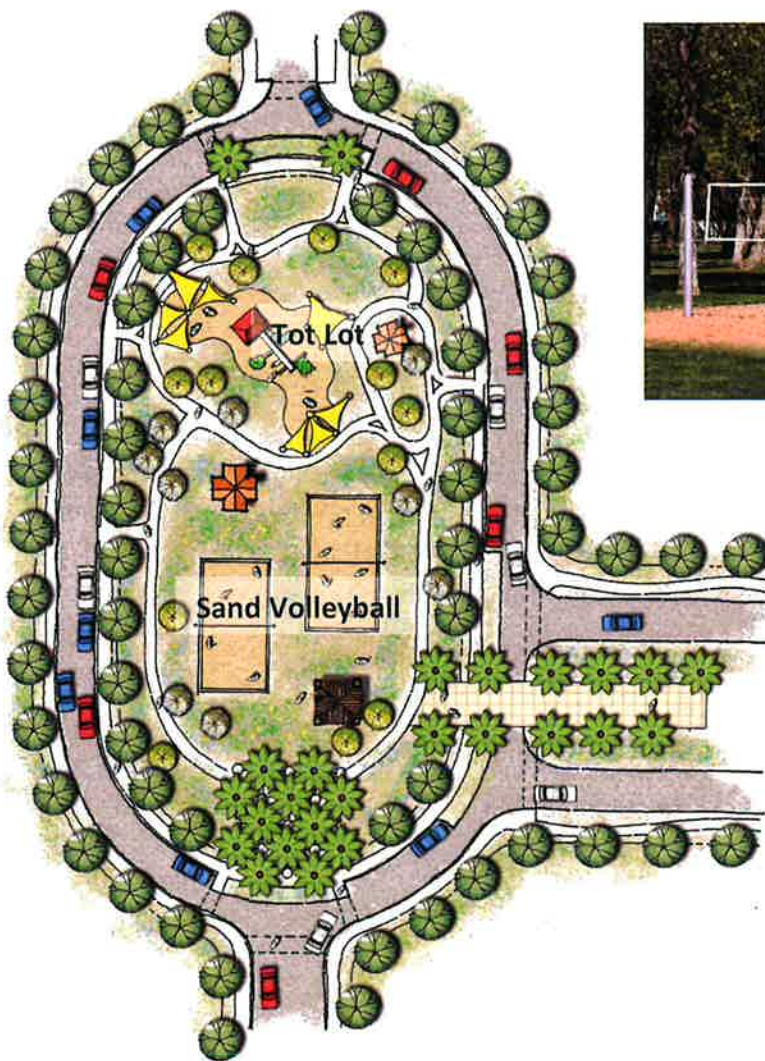


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### PARK 1

This park is located in Avanti West, to the west of 70<sup>th</sup> Street West. The park is adjacent to Planning Areas 1, 2, and 7, all of which are planned for low density residential uses. This park is connected to Park 2 via a promenade in Street B as shown on Figure 4-4, *Parks and Open Space Plan*. Suggested program elements include a medium sized playground, picnic areas, and sand volleyball as well as trails and passive play areas.

A concept design is shown to the right; this design is conceptual in nature. Final designs will be reviewed and approved by the City of Lancaster during design review.



*Park 1 Concept Design*



## 4.0 DESIGN GUIDELINES

### PARK 4

This park is located in Avanti South, to the west of 65<sup>th</sup> Street West. The approximately 1 acre park is adjacent to Planning Areas 13, 17, and 18, all of which are planned for low density residential uses. The park is also adjacent to a commercial center.

Suggested programmatic elements include a dog park, picnic areas, trails and passive play areas. The park connects to the adjacent planning areas via a planned paseo system.

A concept design is shown below; this design is conceptual in nature. Final designs will be reviewed and approved by the City of Lancaster during design review



*Park 4 Concept Design*





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### AMENITY CENTER

In addition to the neighborhood parks, a 5.3-acre amenity center is proposed to serve Planning Areas 24 and 25. This active adult neighborhood will have access to the recreational amenities here which may include:

- Clubhouse;
- Swimming Pool and Spa(s);
- Pickleball Courts;
- Community Garden;
- Fitness Trail; and/or
- Picnic areas.



*Amenity Center Concept Design*

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### Paseos and Promenades

The neighborhood parks are connected for easy access by pedestrians through a series of paseos and promenades. The paseos will consist of informal greenbelts that will traverse some neighborhoods, and the promenades will be integrated into certain residential collector streets. The promenades will feature 12 to 15 foot wide multi-purpose trails within 60-foot wide landscaped medians in Streets B and P.



Paseos will consist of greenbelts that may range from 20 to 30 feet in width and should include 8- to 10-foot meandering paths. These could be located within neighborhoods with a side or rear yard relationship to homes, or could be located adjacent to neighborhood streets. If located adjacent to a street, the paseo could replace the typical sidewalk and parkway normally included within the right-of-way. The remaining green space within the paseos shall be landscaped with a combination of canopy and understory trees, accent shrubs, and groundcover. The paseos and promenades are the cohesive link throughout the project.

Together, these green circulation elements provide for a continuously connected park and open space network.

It is anticipated all parks and community green spaces will incorporate large shade trees, seating, flowering shrubs and groundcover and lawn areas for active play.



### 4.4.6 Community Gateways and Entry Monumentation

Figure 4-1, *Landscape Master Plan*, illustrates the various opportunities for providing various sizes of community gateways and entries. These provide prime opportunities for the establishment of a common theme for landscape plantings, signage, and entry features.

#### Primary Gateway

Primary gateways and community entry statements are located where pedestrian and vehicles enter the community to provide an important quality and identity to Avanti South. Primary community gateway statements are located at the following intersections:

- Avenue L and 65th Street West;
- Avenue K-8 and 65th Street West; and



## 4.0 DESIGN GUIDELINES

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- Avenue K-8 and Street F.

These gateway features will be designed as community entry statements including entry monument signage. These entries should be unique and could include public art, creative hardscapes, walls and other vertical elements.

The gateway features will be designed and constructed in a manner that is reflective and complementary of the community's selected architectural style and building materials.

The gateways could include raised planters, project name and marketing logo, lighting and landscaping.

The gateways should include specimen palms, flowering shade trees, colorful accent planting and groundcovers.

Final design of the primary gateways may differ based on market trends, material availability, or as part of more refined design studies.

### Secondary Community Entry

- Secondary community entries will reinforce the theme and organization of the community, add emphasis to a significant community intersection, and provide landmarks to define neighborhood districts.
- The secondary community entry features will be designed as community entry plazas, somewhat smaller in scale than the primary gateways, and will include project entry monument signage that is different but complements the style of the primary gateway.
- The entry features and monuments will be designed to be complementary with the Planning Area or community's selected architectural style and building materials.
- The monuments may include the project name and logo, reference to a distinct community or neighborhood district and should incorporate lighting of the sign and landscaping.
- The plazas will include flowering shade and understory trees and colorful ground covers and accent planting to complement the primary gateways.
- The landscape should incorporate permeable pavers, decomposed granite ground cover, and cobbles and boulders to complement the primary gateways.
- Entry monuments will be maintained by the Homeowner's Association or a Lighting and Landscape District (or other maintenance district) if one is formed.

Secondary Community Entries are proposed in the following intersections:

- 65<sup>th</sup> Street West and Street P;
- Street P and Street U;
- Avenue K-8 and Street G;
- Avenue K-8 and Street H;
- Avenue K-8 and Street J;



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- 70th Street West and Street O;
- 70th Street West and Street P; and
- 70th Street West and Street R.

### Neighborhood Entries

Neighborhood entries will be generally located at the intersection of collector streets and local streets or at the entries to each of the community's individual neighborhoods. It is the intent of the neighborhood entries to define an opportunity and create distinct individual neighborhoods but maintain continuity of the overall landscape and architectural theme envisioned for the community. Neighborhood entry features will be designed as:

- Smaller in scale than the secondary community entries and may include entry signage that is different but complements the style of the primary gateway and secondary entry design.
- The entry features and monuments will be designed and constructed reflective and complementary of the neighborhood's selected architectural style and building materials.
- The monuments may include the project name and logo and could incorporate lighting.
- The entries may include flowering canopy trees and colorful groundcovers and accent plantings.
- The landscape should incorporate permeable pavers, decomposed granite ground cover, and cobbles and boulders to complement the primary gateways.
- Entry monuments will be maintained by the Homeowner's Association or a Lighting and Landscape District (or other maintenance district) if one is formed.

### Roundabouts

Roundabouts provide additional opportunities to reinforce the community design theme and structure. These areas could include unique interpretations and "one of a kind" architectural design treatments and/or public art features that are compatible with the architectural theme, but also have a uniqueness and a landmark function.

Landscape improvements in roundabouts should incorporate trees, shrubs and groundcover and other materials that complement the other gateways and entry monumentation. Landscape and hardscape improvements must be arranged as required to meet site visibility and traffic safety requirements.

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### 4.4.7 Residential Landscaping

Developer-provided single-family residential front yard landscaping is optional and only required when selected by a homeowner as an “optional” development feature. However, each home is required to install at least one tree per street frontage, whether provided by the builder or the homeowner. In addition, a parkway street tree will be required, generally located adjacent to the curb. Typically, a parkway tree is a medium to larger scale, low water use tree that is sized and planted appropriately for the location (see streetscape figures for local streets). Front yards are required to be landscaped.



- Front yards shall incorporate low water use plants.
- No less than 50% of the front yard landscaping shall be planted with shrubs and groundcover. Provide at least 1-shrub for every 50 square feet of planting area. Limit the use of turf grass and other high water use plants to no more than 25% of the total plantable area.
- At maximum, groundcover should be spaced to cover 80% of designated planting areas within one (1) year after installation.
- Shrubs must be planted at one (1) gallon size minimum. Groundcovers may be planted from one (1) gallon size materials or flats.
- Front yards must include at least one 24-inch box sized tree per street frontage.
- Other yard materials such as gravel, boulders, or river rock or patio/courtyard areas may be utilized but may only comprise a maximum of 50% of the front yard area.



## 4.0 DESIGN GUIDELINES

Table 4-2 Plant Palette								
Category	Scientific Botanical Name (Common Name)	Water Demand	Residential Local	Residential Collector	Secondary Arterial	Parkway/Promenade	Parks & Recreation Areas	One-Way Minor/paseos
<b>Primary Trees</b>	Brachychiton populneus (Bottle Tree)	M			X		X	X
	Fraxinus oxycarpa 'Raywood' (Raywood Ash)	L			X	X		
	Olea europaea 'Wilsonii' (Fruitless Olive)	L	X	X	X		X	X
	Pinus eldarica (Afghan Pine)	M			X	X	X	
	Pinus sabiniana (Foothill Pine)	VL			X	X	X	
	Pistacia chinensis (Chinese Pistache)	M	X	X			X	X
	Prunus caroliniana (Carolina Laurel Cherry)	M	X	X	X		X	X
	Quercus chrysolepis (Canyon Live Oak)	L		X			X	X
	Quercus ilex (Holly Oak)	L		X	X		X	X
	Quercus suber (Cork Oak)	L		X	X		X	X
	Sambucus mexicana (Mexican Elderberry)	L	X	X		X	X	
<b>Accent Trees</b>	Albizia julibrissin (Silk Tree)	L	X	X			X	X
	Arctostaphylos glauca (Manzanita)	VL				X	X	X
	Cercis occidentalis (Western Redbud)	L	X				X	X
	Chilopsis linearis (Desert Willow)	L			X		X	X
	Chitalpa tashkentensis (Chitalpa)	L		X	X	X	X	X
	Citrus spp.	M				X	X	
	Gleditsia triacanthos (Honey Locust)	L	X	X				
	Lagerstroemia species (Crape Myrtle)	M	X				X	X
	Circidium floridum (Blue Palo Verde)	L				X	X	X
	Prosopis species (Mesquite)	L					X	
	Brahea armata (Blue Hesper Palm)	M	X	X	X	X	X	
	Brahea edulis (Guadalupe Palm)	L	X	X	X	X	X	X
	Chamaerops humilis (Mediterranean Fan Palm)	L		X	X	X	X	X
	Dioon species (Mexican Cycad)	L					X	
	Washingtonia filifera (California Fan Palm)	L		X	X	X	X	X
Tecoma stans (Yellow Bells) - tree form	L	X				X	X	



## 4.0 DESIGN GUIDELINES

Table 4-2 Cont'd		Plant Palette						
Category	Scientific Botanical Name (Common Name)	Water Demand	Residential Local	Residential Collector	Secondary Arterial	Parkway/Promenade	Parks & Recreation Areas	One-Way Minor/paseos
Shrubs	Baccharis 'Centennial'/'Starn'/sarathoides (Coyote Brush)	L		X	X	X		
	Berberis thunbergii (Japanese Barberry)	L			X	X		
	Caesalpinia gilliesii/mexicana (Mexican Bird of Paradise)	L		X	X	X	X	X
	Calliandra californica 'Sierra Star' (Baja/ Fairy Duster)	L		X	X	X	X	X
	Eriogonum fasciculatum (California Buckwheat)	VL	X	X	X	X	X	X
	Heteromeles arbutifolia (Toyon)	L			X	X	X	
	Leucophyllum langmaniae (Texas Sage) & other species	L		X	X	X	X	
	Cercocarpus betuloides (Mountain Mahogany)	VL		X	X	X	X	
	Atriplex canescens (Saltbush)	VL	X	X	X	X	X	X
	Chilopsis linearis (Desert Willow)	L			X	X	X	
	Cotoneaster spp (Cotoneaster)	L		X	X	X	X	
	Eleagnus pungens spp (silverberry and Russian Olive)	L			X	X	X	
	Fremontodendron californicum (Flannel Bush)	VL			X	X	X	
	Larrea tridentate (Creosote Bush)	L		X	X	X	X	
	Simmondsia chinensis (Jojoba)	VL	X	X	X	X	X	X
	Yucca spp (Yucca)	VL	X	X	X	X	X	X
	Rhus ovata/typhina (Sugar Bush / Staghorn Sumac)	L				X	X	
	Romneya coulteri (Matilija Poppy)	L		X	X	X	X	
	Ruellia spp. (Mexican/Baja/Dwarf Ruellia)	VL		X	X	X	X	X
	Salvia apiana (White Sage)	L	X	X	X	X	X	X
	Salvia dorrii/ 'Gayle Nielson'/ clevelandii & hybrids	L		X	X	X	X	X
	Sambucus mexicana (Mexican Elderberry)	L				X	X	
	Santolina species (Lavender Cotton)	L	X	X	X	X	X	X
Sphaeralcea species (Desert/Globe Mallow)	LL			XX	XX	XX	XX	
Senna/Cassia species (Silver/Desert Senna/Cassia)	LL			XX	XX	XX	XX	
Viguiera parishii (Desert Goldeneye)	LL	X	XX	XX	XX	XX	XX	
Westringia fruticosa (Coast Rosemary)	LL	XX	XX	XX	XX	XX	XX	

## 4.0 DESIGN GUIDELINES

Table 4-2 Cont'd								
Category	Plant Palette	Water Demand	Residential Local	Residential Collector	Secondary Arterial	Parkway/Promenade	Parks & Recreation Areas	One-Way Minor/paseos
	Scientific Botanical Name (Common Name)							
Accents/	Achillea Spp (Yarrow)	L	X	X	X	X	X	X
	Agave spp. (Century Plant)	VL		X	X	X	X	
Grasses/	Aloe species (Aloe)	L	X	X	X	X	X	X
Ground-cover	Acacia redolens/ha hayesiana (Prostrate Acacia/Alva)	L			X	X	X	
	Artemesia spp. (Wormwood/Sage)	VL	X	X	X	X	X	X
	Baccharis pilularis "Centennial" (Coyote Brush)	L	X	X	X	X	X	X
	Bulbine frutescens (Stalked Bulbine)	L	X	X	X	X	X	X
	Baileya multiradiata (Desert Marigold)	L	X	X	X	X	X	X
	Cerastium tomentosum (snow in summer)	M	X	X	X	X	X	X
	Dalea greggii (Trailing Indigo Bush)	L			X	X	X	
	Dasylyrion species (Desert Spoon)	L	X	X	X	X	X	X
	Festuca ovina glauca (blue fescue)	M	X	X	X	X	X	X
	Fouquieria splendens (Ocotillo)	VL				X	X	
	Helianthemum nummularium (sunrose)	L	X	X	X	X	X	X
	Malephora species (excluding M. crocea) (Ice Plant)	L	X	X	X	X	X	X
	Macfadyena unguis-cati (Cat's Claw vine)	L		X	X	X	X	X
	Oenothera spp (not O. glazioviana) (Evening Primrose)	L	X	X	X	X	X	X
	Penstemon (SW native Species & cultivars)	L	X	X	X	X	X	X
	Rosemarinus officinalis (Rosemary)	L	X	X	X	X	X	X
	Ruellia brittoniana (Mexican Petunia)	L	X	X	X	X	X	X
	Santolina species (Lavender Cotton)	L	X	X	X	X	X	X
	Tetranneurus/Hymenoxys acualis (Four nerve daisy)	L	X	X	X	X	X	X
	Thymophylla/Dyssodia pentachaeta (Golden Fleece)	L	X	X	X	X	X	X
Thymus spp (Thyme)	M	X	X	X	X	X	X	
Verbena spp, (excluding V. bonariensis or litoralis)	L	X	X	X	X	X	X	
	Zinnia grandiflora (Prairie Zinnia)	L	X	X	X	X	X	X
	Romneya coulteri (Matilija Poppy)	L		X	X	X	X	

## 4.0 DESIGN GUIDELINES

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### 4.5 FENCES AND WALLS

Fences and walls may be necessary to provide separation between the various planning areas and adjacent commercial development, or between secure gated neighborhoods and others. Where utilized, the following general guidelines should be taken into consideration:

- Fences and walls used throughout the Avanti South Specific Plan area shall be constructed using high quality materials and consistent with the aesthetic of adjacent architecture and landscape.
- Street-adjacent and perimeter wall and fence design, location, and height shall reflect the character and overall aesthetic of the project and shall be consistent in quality and color palette.
- Fences and walls along collector streets and project perimeters shall not exceed six feet in height unless required for noise attenuation based on acoustical analysis.
- Perimeter and street-adjacent walls and fences shall be constructed of attractive, durable, and low maintenance materials, including but not limited to precast concrete with textured or stone finishes, wrought iron, or tubular steel.
- Fences and walls along streets should include three levels of landscaping: groundcover, shrubs and low plantings, and trees.
- Residential rear and side yard fences and walls shall not exceed six feet in height, except as required for sound attenuation. Residential fences may be constructed of masonry, vinyl coatings, tubular steel, or a combination of these materials.
- Front yard walls and fences located within the setback area shall not exceed three feet in height (3.5 feet for courtyards). Front yard walls and fences shall be constructed using high quality materials such as tubular steel or masonry. Front yard walls and fences may vary for visual interest but shall be complementary and retain a harmonious overall aesthetic. Chain link fencing is not permitted.
- Landscaping shall be required along walls and fences to break up the massing and provide greenery throughout the project. Long walls and fences (generally greater than 30 feet) uninterrupted by trees or other landscaping shall be avoided along streets and adjacencies with parks, trails, and other common spaces.

### 4.6 EQUIPMENT AND SERVICE AREAS

- With the exception of solar panels and small-scale wind turbines, roof-mounted mechanical equipment should be avoided on the roof of single family dwelling units.
- Small-scale wind turbines and solar heating and energy production panels and films are encouraged. These items do not need to be screened, since screening may limit productivity.
- Roof-mounted mechanical equipment (excluding solar panels, solar films, and small-scale wind turbines) on non-residential (park or recreation area) buildings shall be screened from views from streets, walkways, common areas, parks, and open space areas with parapets and other architectural features that are compatible with the architectural style and character of the building.
- For commercial uses, switch gear boxes should be integrated into building design.



## 4.0 DESIGN GUIDELINES

- Ground-mounted mechanical equipment shall be located behind privacy walls/fences, inside utility cabinets, and/or behind landscaping to screen this equipment from streets, walkways, parks, and common areas. Items to be screened include, but are not limited to, power transformers, electrical equipment, backflow preventers, antennas, HVAC (heating, ventilation, and air conditioning) equipment, and other similar mechanical equipment and utilities.
- Trash enclosures for multifamily homes or commercial centers must be screened by a solid wall or fence with landscaped buffers.
- Trash areas for single family residential uses should be located in the side yard or garage area with access to curb or alley pick-up.
- Energy and water efficient appliances, fixtures, lighting, and windows shall meet or exceed state energy performance standards. Energy Star qualified (or equivalent rating system) models of mechanical equipment are strongly encouraged.
- Equipment should be located to maximize energy efficiency, such as locating cooling equipment in shaded areas that are protected from the hot sun, thus reducing energy needs.



### 4.7 EXTERIOR LIGHTING

Lighting shall be provided throughout the neighborhood's parks and open spaces, consistent with streetscape furnishings. Quality lighting enhances the nighttime vehicular and pedestrian experience and safety. Lighting design will help differentiate between land uses, highlight public and pedestrian-scaled spaces, provide continuity and aesthetic appeal along corridors, and encourage pedestrian and vehicular efficiency. Lighting along multi-use paths, walkways, and other areas used by pedestrians and bicyclists should be provided except in natural open space areas or adjacent to habitat areas.



Lighting should minimize uncontrolled nighttime light and glare, light trespass, and night sky pollution with low brightness lighting fixtures utilizing warm, color corrected light sources and appropriate beam cut-off. Energy efficient lamp technologies such as LED should be utilized along with photovoltaic sensors to turn lights off when adequate daylight is available. Light standard styles should be consistent throughout the project, yet designed to meet City standards. Alternative street light designs may be allowed, subject to approval as part of site plan review. No specific alternative street light design is proposed.

## 4.0 DESIGN GUIDELINES

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- Exterior lighting should be unobtrusive and not cause glare or spillover into neighboring properties, especially when within 100 feet of open spaces. Lighting fixtures should direct illumination downward to minimize light pollution impacts. Up-lighting, spot-lighting, and decorative color lighting may be appropriate for prominent buildings and features, but illumination shall not adversely impact neighboring properties with sensitive uses, such as residential or open space areas.
- Adequate lighting shall be provided throughout the site to create an inviting and non-threatening environment. Night lighting of public spaces shall be kept to the minimum necessary for safety and security purposes.
- The scale, materials, colors, and design detail of light posts and fixtures should reflect the desired character of the project and the architectural style of the surrounding buildings. Light posts shall be appropriately scaled to pedestrians near sidewalks and other areas of pedestrian circulation. Extremely tall light posts and fixtures shall be avoided. Bollard lighting is encouraged to illuminate walkways without providing spillover.
- Lighting fixtures shall be compatible with the architectural style and character of the building. The color, size, placement, and number of fixtures shall enhance the overall design and character of the building and site.
- Energy efficient, low voltage lighting is strongly encouraged. Decorative lighting shall be low intensity.
- If security lighting is required, fixtures shall be hooded, recessed, and/or located in such a manner to only illuminate the intended area.
- Addresses shall be visible from streets and illuminated at night.

### 4.8 SIGNAGE

Signs are important because they communicate the type of goods and services being offered at a particular establishment and also the quality of the businesses and the image of the community in general. Attractive, creative, and pedestrian-oriented signs will help create a more pleasing visual environment.



For purposes of this Specific Plan, the existing City of Lancaster Sign Regulations (Lancaster Municipal Code, Article IV (Zoning Ordinance) shall apply. However, specific building signage design guidelines have been provided to augment these regulations. In the event of conflict between the Code and the following guidelines, the guidelines shall prevail.

This section applies to the commercial planning areas. Park and school signage will comply with City code.

#### General Signage Guidelines

- Signs should be oriented to the pedestrian, even if also designed for vehicles.
- Lettering styles shall be proportioned, simple, and easy to read.

## 4.0 DESIGN GUIDELINES

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- No portion of the sign (including support materials) shall project above the cornice, parapet, or roof eave unless it is integral to the building architecture, such as a uniquely designed theater marquee.
- Signs shall not cover windows, architectural elements, or architectural details.
- Businesses in courtyards or plazas should be identified from the street.
- Signs shall be durable, weatherproof, well-designed, and act as unique expressions of the business or building.
- Street addresses shall be prominently displayed at the main entrance to every business and be clearly visible from the street.
- Signs may use symbols, characters, or graphics that relate to the product sold or to the name of the business. In general, three dimensional signs are encouraged.
- No sign may be placed in such a position as to endanger pedestrians, bicyclists, or traffic on a street by obscuring the view or interfering with official street signs.
- Signs may not be placed within a sight triangle or interfere in any way that impairs sight distance requirements of any public or private street.
- Signs must maintain clearance and noninterference with all surface and underground utilities and communications equipment.
- In addition to the sign requirements in the zoning ordinance, a master sign program shall be required for buildings with more than three tenants or sites with more than one building (excluding accessory structures). This program should require that each tenant sign has an appropriate and compatible size, location, shape, orientation, and scale. The number of signs should be in proportion to the length of the property. All signs on a property shall share common design elements, such as:
  - Materials
  - Size
  - Shape
  - Lighting technique
  - Placement
  - Alignment
  - Method of attachment

### Sign Material and Color

Sign materials and colors should complement the materials and colors on the façade and the architectural style of the building. The selected materials should contribute to the legibility of the sign; for example, glossy finishes are often difficult to read because of glare and reflections.

- Appropriate sign materials may include:
  - Wood (carved, sandblasted, etched, properly sealed and painted or stained);



## 4.0 DESIGN GUIDELINES

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- Tile (painted, sealed, inlaid tiles);
- In certain cases, metal (formed, etched, cast, engraved, and properly primed or factory coated to protect against erosion);
- Stucco; and
- Decorative iron brackets or wood (preferred for sign hardware support).
- Sign colors shall complement the colors of adjacent buildings on the site.
- The color of the sign frame and letters should generally contrast the background of the sign or wall to maximize legibility.
- Too many colors on a sign overwhelm the viewer's ability to process quickly what the sign is communicating. Limit use of accent colors to increase legibility, and limit colors to no more than three on a single sign. Exceptions can be made for branded signage for commercial tenants, subject to design review.

### Sign Lighting

- Low energy use lighting sources shall be used.
- Appropriate types of illumination include:
  - External lighting that is directed on the sign face or provided from an on- or off-site light pole.
  - Backlighting of individually mounted letters and sign symbols.
  - Internal illumination of box signs that illuminates just the letters, logos, or symbols of the sign, but not the sign background. Internally illuminated box signs that illuminate the entire sign (letters, symbols, logos, and background) are discouraged.

### Appropriate Sign Types

#### *Awning/Marquee Signs*

Awning/marquee signs are signs that are printed on, painted on, or otherwise attached to an awning or marquee above an entry or window.

- Signs shall only be placed on the front face (the skirt or valance) of awnings, but may be placed on any face of marquees.
- Awning signage lettering should be placed only on the valance portion of the awning; the use of adhesive/press lettering is strongly discouraged; letter color should be compatible with the awning and the building color scheme.
- The overall width of the sign (text, symbols, and logos) shall not exceed 80% of the awning or marquee width.
- If illuminated, signs shall be externally illuminated and directed at the sign, not the entire awning or marquee. Marquees on theaters and other unique uses, may be internally illuminated.

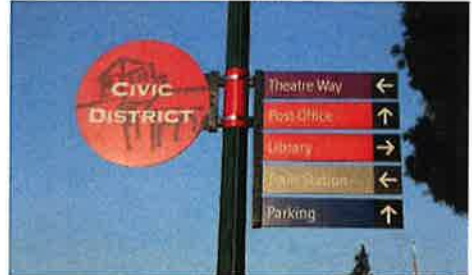


## 4.0 DESIGN GUIDELINES

- Replaceable valences are encouraged to avoid the need to replace awnings or paint out previous tenant signs when a new tenant moves in.

### *Directional and Wayfinding Signs*

Directional signs are small freestanding signs that provide direction to pedestrians and vehicles entering or navigating through the site. May be part of a wayfinding system for pedestrians or vehicles or provide a directory of tenants and/or services. May be freestanding monument-style ground sign or kiosk style sign.



- Directional signs are strongly encouraged along internal driveways and pedestrian walkways, and where a site has multiple businesses, buildings, or functions. Directional signage is encouraged when the site has multiple businesses or functions (e.g., to direct service trucks to loading/unloading areas and customers to appropriate parking areas).
- Directional signage should be simple and include a simple directional arrow and the name of the area, business, or the user to be alerted.
- Directional signs should have a similar design and theme as all of the signs on a site. However, these signs should be smaller in terms of scale and height related to other types of freestanding or monument signs.
- Directional signs should be illuminated by external lighting fixtures or with internal lighting that only illuminates text and arrows.
- All traffic and pedestrian signs shall be approved by the Lancaster Planning or Public Works Director.



### *Wall Signs*

Wall signs are vehicle- and pedestrian-oriented signs that are mounted flat on the facade of a building.

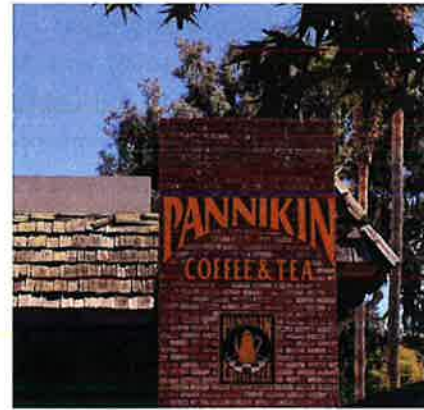
- Wall signs should not project more than 12 inches from the facade.
- If multiple wall signs are used along a facade, the cumulative width of signs should not exceed 50 percent of the facade width.
- Building facades should be designed with specific areas dedicated for wall signs. The location, placement, and size of wall signs should create a consistent pattern of signs on the facade. In general, wall signs should be placed above or near the building entrances and below the roofline.



## 4.0 DESIGN GUIDELINES

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- Wall signs shall not be placed in random locations along a facade nor should they be placed over building details, cornices, molding, windows, or other prominent building features.
- Wall signs should be positioned within architectural features such as the panels above storefronts, on the transom, or flanking doorways.
- Wall signs may be illuminated by external lighting fixtures, with back-lighting behind individually cut letters and symbols, or by internally illuminating individually cut sign letters and symbols.



### *Monument Signs*

A monument sign is a sign which is horizontally freestanding, integrated into the landscape, providing primary or secondary identification of single tenants. A monument sign is not erected on one or more poles or similar supports, but rests on the ground or on a monument base designed as an architectural unit with the sign. Subdivision entry monumentation size and height standards will be in accordance with Section 17.40.220 B of the Municipal Code.

- Monument signs near vehicular entrances should be oriented perpendicular to the street. No more than one sign is encouraged per vehicular entrance. If the vehicular entrance is for more than one business, multiple businesses may be identified on the sign face.
- Monument signs shall not cause line-of-sight issues with driveways or intersections. Monument signs should be located at least 10 feet from driveway entrances.
- Monument signs should be scaled for use by pedestrians and drivers.
- Landscaping, especially evergreen and flowering plants, is strongly encouraged around the base of the monument sign to highlight and define the base while screening support structures.
- Monument signs should be constructed of high-quality, durable materials. Materials, finishes, and colors should complement the architectural style and character of the buildings and other onsite signs.
- Internal illumination is prohibited on monument signs. Illumination from external lighting fixtures or back-lighting behind individually mounded letters and symbols is encouraged.





## 4.0 DESIGN GUIDELINES

### *Projecting Signs*

Projecting signs are double-sided signs that project perpendicular to the building facade and hang from a mounted wall brace on the facade or from a roof overhang, such as an arcade. Projecting signs are primarily oriented towards pedestrians.

- Wall-mounted projecting signs should not extend more than 3 feet from the facade. Signs hanging from a roof overhang should generally be centered with the overhang.
- A minimum vertical clearance of 8 feet (as measured from the bottom of the lowest part of the sign to the adjacent ground surface) shall be maintained over sidewalks, walkways, and common areas.
- Projecting signs should generally be located near entrances, below second floor windows. No portion of the sign should extend above the roof line.
- Only one projecting sign should be allowed per tenant.



### *Plaque Signs*

Plaque signs are signs that are attached flat against a building facade, generally at the eye level of pedestrians, and are often used to identify individual businesses, provide a directory of multiple businesses, or display menus.

- Only one individual business or unit sign should be provided for each business or unit.
- Directory signs should be located near common building entrances. Only one directory sign should be provided on a facade.
- Menu displays are strongly encouraged for restaurants and should generally be located near entrances.
- Plaque signs should be illuminated by external lighting fixtures. Menu displays may include internal illumination.



### *Window Signs*

Window signs are those signs located within a window/storefront of a business and are oriented toward the adjacent sidewalk or walkway.

- Window signs shall not occupy more than 25% of the window.
- Window signs should be primarily individual letters placed on the interior surface of the window and intended to be viewed from outside, with white and gold-leaf paint being the recommended colors. Glass-mounted graphic logos may also be applied, as long as they comply with the 25 percent limitation.



## 4.0 DESIGN GUIDELINES

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- The location, size, and shape of window signs should add to a storefront display, not detract from views into the business.
- Window signs may be illuminated from external light sources or from lighting within the storefront. Internally illuminated window signs should be limited to “open” signs.
- Limit the text or sign copy of a window sign to the business name and a brief message identifying the product or service (e.g., “maternity wear” or “attorney”) or pertinent information (e.g., “reservations required”).

### *Temporary Signs*

Temporary signs are appropriate for use during the period of initial planning, construction, and leasing. Design of temporary signs shall be included in the Master Sign Program for the project.

- Temporary signs may reflect the project design or brand to generate interest for the project.
- Subdivision sales signage in accordance with Section 17.40.220 of the Municipal Code.
- Sandwich Board signs which are architecturally consistent may be used.
- Banners.

# 5 ADMINISTRATION AND IMPLEMENTATION

This section discusses the development review procedures by the City of Lancaster and other relevant permitting agencies applicable to the Specific Plan. A process for amendments to the Specific Plan is discussed as well as analysis of the fiscal impacts of the Project on public services.



## 5.0 ADMINISTRATION AND IMPLEMENTATION

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The purpose of this section is to provide an outline of the steps necessary to implement the Avanti South Specific Plan and applicable conditions, mitigation measures and regulations in coordination with the City of Lancaster and other governing public agencies. This section is intended to address each of these elements for the benefit of the development team, the City and other approving agencies, and interested citizens. The approval of this Specific Plan, certification of an Environmental Impact Report, and adoption of conditions of approval and a Mitigation Monitoring and Reporting Program (MMRP) will assure that timely mitigation of project impacts takes place at the appropriate milestones and in accordance with project implementation.

### 5.1 ADMINISTRATION

The California Government Code (Title 7, Division 1, Chapter 3, Article 8, Sections 65450 et seq.) grants authority to cities to utilize Specific Plans for purposes of implementing the goals and policies of the City's General Plan.

This Specific Plan establishes a set of regulations, standards, guidelines, and processes for the proposed development, and shall constitute the zoning for development within the Specific Plan area.

#### 5.1.1 Responsibility

The City of Lancaster's Development Services Department, its Director or their designee shall be responsible for administering the Avanti South Specific Plan in accordance with the provisions of this Specific Plan document, all governing and applicable state and federal laws, the City of Lancaster's General Plan, and the City of Lancaster Municipal Code.

#### 5.1.2 Applicability

All development within the Avanti South Specific Plan area shall comply with the requirements and standards set forth in this Specific Plan document. If conflicts exist between the standards contained in this Specific Plan and those found in the City of Lancaster General Plan, Zoning Ordinance or Municipal Code, the regulations and standards in the Specific Plan shall take precedence. Any area of site development, administration, review procedures, landscaping requirements, and regulations not expressly addressed by this Specific Plan document shall be subject to the provisions of the City of Lancaster Zoning Code, Municipal Code or General Plan, using the context and objectives of the Specific Plan as a guide.

#### 5.1.3 Enforcement

The Avanti South Specific Plan serves as the implementation tool for the zoning for the Specific Plan area. The Specific Plan addresses permitted uses, development standards, and community design guidelines.

The City shall enforce the provisions of the Specific Plan in the same manner that the City enforces the provisions of the General Plan, Municipal Code and Zoning Code.

## 5.0 ADMINISTRATION AND IMPLEMENTATION

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### 5.1.4 Severability

If any portion of this Specific Plan and its regulations are declared to be invalid or ineffective in whole or in part by a court of competent jurisdiction, such decision shall not affect the validity of the remaining portions thereof.

### 5.1.5 Interpretation

Whenever the provisions contained in the Specific Plan conflict with the Municipal or Zoning Codes, the provisions of the Specific Plan shall take precedence. Any ambiguity concerning the content or application of the Avanti South Specific Plan shall be resolved by the City's Development Services Director, or their designee. Such interpretations shall take into account the stated goals and intent of the Specific Plan.

### 5.1.6 Initial Entitlements

Initial entitlements required for development of the Specific Plan area include the following actions to be taken by the City:

- Environmental Impact Report ("EIR") – The Avanti South Specific Plan is a discretionary project and is subject to the requirements of the California Environmental Quality Act ("CEQA"). As part of the approval process for the Specific Plan, an Environmental Impact Report must be considered and certified by the City prior to approval of any of the project-related entitlements.
- General Plan Amendment – 1) Changing the land use designation of the 73-acre Avanti West subarea from Non-Urban Residential (NU) to Urban Residential with a Specific Plan Overlay. 2) Changing the land use designation of the 234-acre Avanti South subarea from Urban Residential (UR) with Specific Plan Overlay to Mixed Use (MU) with a Specific Plan Overlay. Upon amendment, the project would be consistent with the plans and policies of the General Plan.
- Specific Plan – The Avanti South Specific Plan is a regulatory document that establishes the zoning, land use designations, development standards, and design guidelines for the entire Specific Plan project area. The Specific Plan will implement the City's General Plan. The Specific Plan will be considered by the Planning Commission and City Council and will be adopted by Ordinance. Subsequent tract/parcel maps or site development plans must be in substantial compliance with the adopted Specific Plan. A zone change from RR-2.5 to Specific Plan 15-02 for the portion of the Specific Plan to the west of 70<sup>th</sup> Street will be required as part of the Specific Plan adoption.
- Subdivision Map – The Large Lot Tentative Map is a basic tool for implementation of a Specific Plan. The large lot Tentative Map will create the individual development neighborhoods and other large lots. A large lot Tentative Tract Map has been prepared and will be considered by the City concurrently with the review of this Specific Plan. The Tentative Tract Map creates the backbone road easements, Planning Areas, park, school, and open space parcels.
- Development Agreement – A statutory development agreement, authorized pursuant to California Government Code Section 65864 et seq., will be processed as part of the approval of this Specific Plan. The development agreement of this Specific Plan will include, among other items, methods for financing acquisition and construction of infrastructure, acquisition and

## 5.0 ADMINISTRATION AND IMPLEMENTATION

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development of adequate levels of parkland and schools. Such development agreement shall be fully approved before the issuance of the first building permit for this project.

### 5.1.7 Substantial Conformance

Final development plans for each planning area of the project may be adjusted or modified based on final design and engineering and the precise development plans of the planning area builder. Substantial Conformance is a mechanism to allow the approval of minor modifications for development under the Specific Plan.

Written documentation requesting a proposed minor modification to support an implementing map, site plan, or use permit must be submitted for the review and approval of the Development Services Department, its Director or their designee.

#### Minor Modifications under Substantial Conformance Determination

The Development Services Director or their designee shall have the authority to approve minor adjustments or modifications, as defined herein, which substantially conform to the approved Specific Plan through an administrative “Substantial Conformance” review process, so long as those minor modification and adjustments are consistent with the intent of the Specific Plan.

Minor modifications may be warranted to accommodate changes resulting from final design and engineering that cause adjustments in roadway alignments, location of utilities or other infrastructure, development of innovative product design, distribution of permitted uses within the Specific Plan, development of builder-level design guidelines, density transfers or other similar modifications deemed to be minor. Minor modifications or technical adjustments may include, but are not limited to the following:

- Inclusion of land uses not specified in Section 3, Development Regulations but similar in intent and character subject to interpretation by the Development Services Director as specified in Section 5.1.5 above;
- Modifications necessary to comply with final Conditions of Approval or mitigation measures when adopted under subsequent actions;
- Modifications to environmental performance standards included in the Specific Plan provided any such modifications provide substantially equivalent environmental protection as the original standard;
- Addition of information to the Specific Plan (including maps or text) for purposes of clarification that does not change the intent of any plan or regulation, as well as correction of any clerical or grammatical errors;
- Adjustments to the alignment, location and sizing of utilities and facilities or a change in utility and/or public service provider may be approved by the City’s Engineering or Public Works Department so long as the adjustments or changes are found to be in compliance with applicable plans and standards of the agency responsible for such utilities and facilities and do not result in significant environmental impacts;

## 5.0 ADMINISTRATION AND IMPLEMENTATION

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- Change in roadway alignment, width, or improvements through the final engineering improvement plan process so long as minimum rights-of-way meet the standards outlined in the Specific Plan;
- Minor adjustments of any planning area boundary (less than 10%);
- Minor adjustments to any of the development standards or regulations such as modification of wall heights for noise attenuation purposes, modification of allowable encroachments into setbacks, etc. that are specifically allowed under the Development Regulations of this Specific Plan;
- Minor changes to the architectural or landscape design guidelines, which guidelines are intended to be conceptual in nature and flexible in implementation;
- Modification of any design element in this Specific Plan that improves circulation, reduces grading, improves drainage, improves infrastructure, or provides similar utility and reduces operations and maintenance costs or improves the level of sustainability;
- Residential unit transfers between planning areas in accordance with Section 5.2.4 of this Specific Plan; and
- Increases or decreases in lot sizes, so long as any change meets the minimum lot size requirements of the Specific Plan.

The minor modifications described and listed above are not comprehensive. Any modification that is deemed by the Development Services Director to be in substantial conformance with the purpose and intent of the Specific Plan shall be permitted.

The documentation of substantial conformance may include text and/or maps which describe the nature of all proposed modifications or adjustments to the Specific Plan. This application of substantial conformance with the adopted Specific Plan shall undergo any necessary technical review by City agencies as the Development Services Director or their designee deems necessary.

Substantial Conformance Determination shall not include significant modifications in the basic design of the Specific Plan area including any increase in the allowable units within the project area.

### Action

No public hearing shall be required for a finding of Substantial Conformance. The Development Services Director or designee shall be the review and approval authority for a finding of Substantial Conformance. The Director's findings shall be provided by written notice to the Applicant approving, conditionally approving, or denying the determination of Substantial Conformance. The Director's decision shall be final, subject to the appeal procedures established by the Lancaster Municipal Code Section 17.36.030.

### Findings

The following findings shall be required for a Substantial Conformance Determination:

- The modifications are consistent with the goals and intent of the Specific Plan;



## 5.0 ADMINISTRATION AND IMPLEMENTATION

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- The physical characteristics of the site have been adequately assessed, and proposed building sites are of adequate size and shape to accommodate proposed uses and all other features of development;
- There is supporting infrastructure, existing or available, consistent with the requirements of the Specific Plan, to accommodate the development without significantly lowering service levels; and
- The development resulting from the Substantial Conformance Determination will not have a substantial adverse effect on surrounding property or the permitted use thereof, and will be compatible with the existing and planned land uses, as well as the character of the surrounding area.

### 5.1.8 Amendments to the Specific Plan

Substantial modifications to the Specific Plan would require an Amendment. A minor modification or adjustment to the Avanti South Specific Plan listed in the section above would not require a Specific Plan Amendment.

An amendment to the Specific Plan is required if the following occur:

- Changes to the overall Specific Plan boundaries to include ownerships or properties not included in the Specific Plan at the time of approval (changes to planning area boundaries within the Specific Plan boundaries are deemed minor as noted above and would not require an amendment);
- Any increase in the overall development density thresholds within the Specific Plan; or
- Any addition of new land uses not contemplated by the Specific Plan's Development Regulations.

### 5.1.9 Appeals

An appeal of any determination, decision, or requirement of City staff or Planning Commission shall be made in conformance to the appeal procedures established by the Lancaster Municipal Code Section 17.36.030.

## 5.2 IMPLEMENTATION

### 5.2.1 Specific Plan Adoption

The Avanti South Specific Plan will be prepared, submitted, and approved in a manner consistent with California Government Code Section 65451(a), as well as Article VII of the City's Zoning Code. The Specific Plan shall be adopted by ordinance and shall serve as the zoning for the Avanti South project area. The approved Specific Plan project site will be designated on the City's General Plan Land Use Diagram and Zoning Map as the Avanti South Specific Plan. The land use and development standards identified in this Specific Plan document supersede all zoning regulations to the extent that they would be in conflict with the sections of this Specific Plan.

## 5.0 ADMINISTRATION AND IMPLEMENTATION

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### 5.2.2 Subsequent Approvals and Plans

Several levels of subsequent approvals are required to implement the project.

- Tentative Tract Maps will be prepared and processed through the City for individual planning areas in accordance with the Subdivision Map Act and City Municipal Code. Tentative Tract Maps shall be consistent with the vision and sustainable community design standards of this Specific Plan. These maps will create buildable parcels and road rights-of-way and/or private streets. Engineered improvement plans will be prepared to implement required facilities. Planning Commission approval of Tentative Tract Maps is required.
- A Master Signage Program will be prepared to provide for design continuity within the new community.
- Design Review/Director's Review will be required as discussed in Section 5.2.3 below.
- In order to develop any uses listed as "C" (Conditional Use Permit) in Table 3-1, *Permitted Uses, Residential Planning Areas*, and Table 3-3, *Permitted Uses, Commercial Planning Areas*, the Applicant shall submit an application for a Conditional Use Permit in accordance with the requirements set forth in City Municipal Code, as may be modified or supplemented by this Specific Plan. Findings for approval of a Conditional Use Permit shall be as outlined in the Municipal Code.

### 5.2.3 Design Review/Director's Review

Future developers within the Specific Plan may be required to submit complete development and architectural plans for all projects to a Master Developer Design Review Committee ("Committee") or successor entity prior to the submittal of plans to the City of Lancaster for Architectural/Site Plan Review. Review by the Committee is limited to making a determination of initial consistency of the proposed project with the overall vision and intent of the Specific Plan. Upon review and approval by the Committee, the Master Developer shall provide builders or their authorized agents with a letter of approval that must be submitted with any development application for the reviewed planning area to the City (see process below). Formation of this Committee shall be at the discretion of the Master Developer.

The Avanti South Specific Plan includes design guidelines for site planning, architecture, and landscape architecture which will, upon adoption, become the design criteria for all projects within the Specific Plan area (See Section 4, *Design Guidelines*). These guidelines are intended to be consistent with and supplement the City's Citywide Design Guidelines. Where the Avanti Specific Plan's guidelines differ from the Citywide Design Guidelines, the Avanti South Specific Plan will prevail.

All implementing projects within the Avanti South Specific Plan will be required to obtain Design Review approval prior to issuance of a building permit. The design review process requires submittal of a site plan, landscape plan, grading plan, and conceptual architectural elevations submitted and filed as a Director's review. Project parks are also subject to design review.

**Approving Authority.** Design Review requests for projects within the Avanti South Specific Plan area shall be reviewed for substantial conformance with the Specific Plan and approved by the Development

## 5.0 ADMINISTRATION AND IMPLEMENTATION

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Services Director. All design review approvals are subject to appeal in accordance with Lancaster Municipal Code Sections 2.34.020.

**Basis for Approval.** The basis for approval of Design Review by the Development Services Director of projects within the Specific Plan shall be as follows:

- Adherence to the land use and development standards as outlined in the Development Regulations section of this Specific Plan.
- Conformance with the landscape, site planning, and architectural guidelines of this Specific Plan.
- Conformance with the City's General Plan.
- Conformance with the Citywide Design Guidelines where the Specific Plan does not provide guidance.

### 5.2.4 Unit Transfer

The project's Land Use Plan and Table 2-1, *Land Use Summary*, set forth the land use designations, acreage, density range, and total target units for each land use category. As used throughout this document, the term "Unit Transfer" means that the number of units within each planning area can be transferred to another area as part of a Tentative Tract Map and design review process provided that the total number of units not exceed the unit maximum for the Specific Plan, or the upper end of the density range for an individual planning area. For example, if a number of residential units developed within a planning area is planned to be below the designated target, then all or a portion of the remainder of those units may be transferred to another planning area.

Transfer of residential units to a commercial planning area is permitted provided that such units are developed in a vertical mixed-use setting, with commercial and/or office uses on the ground floor.

#### Procedures

Unit transfer may be initiated at any time by the master developer or planning area builder. A request for a transfer of units shall be accompanied by a tentative subdivision map application or site plan review application.

A density transfer request will be reviewed by the Development Services Director as part of the related tentative subdivision map application pursuant to a Substantial Conformance review, based upon a determination that the transfer meets the following conditions:

- The overall total number of approved residential dwelling units shall not exceed the allowable Specific Plan dwelling unit maximum.
- The transfer of units does not cause the maximum density allowed within a receiving planning area to be exceeded.
- There would be no significant adverse effects on projected demand infrastructure in the receiving area from the addition of units.

## 5.0 ADMINISTRATION AND IMPLEMENTATION

### 5.2.5 Maintenance and Ownership

Maintenance of facilities within the Avanti South community will be accomplished through a combination of public and private mechanisms. Generally, facilities dedicated to public agencies will be maintained by that agency, while private facilities will be maintained by homeowners or a maintenance district. Table 5-1, *Financing, Ownership, and Maintenance* outlines the anticipated program.

#### Master Homeowners Association

A Master Homeowners Association (MHOA) will be formed for the maintenance of community-wide common areas identified in the Specific Plan, including but not limited to, community signage, private parks/recreation areas, promenades, and trails shared by the entire community.

#### Neighborhood Homeowners Association

A second tier or Sub-Homeowners Association (HOA) may be formed for the maintenance of private facilities held in common ownership within individual planning areas, such as project landscaping and maintenance, lanes, senior amenities, private parks, entries, and lighting.

#### Business Association

A Business Association and/or multiple associations may be formed to address private roads, shared driveways, landscaping, signage, and maintenance within the commercial areas of the Specific Plan, inclusive of commercial or office uses.

<b>Improvement</b>	<b>Financing</b>	<b>Ownership</b>	<b>Maintenance</b>
Water System	Developer	Public	LA County Waterworks
Sewer System	Developer	Public	City
Drainage System (Backbone and Basins)	Developer	Public	City
Public Street Improvements (Arterials)	Developer	City	City
Private Internal Streets and Alleys	Developer/Builder	Private	HOA
Landscaping within Public Right-of-Way	Developer	City	Maintenance District
Private Parks/Recreation Areas	Developer	Master HOA	HOA
Promenades, Linear Parks	Developer	Master HOA	HOA/Sub HOA
Senior Amenities/Recreation Areas	Developer/Builder	Sub HOA	Sub HOA



## 5.0 ADMINISTRATION AND IMPLEMENTATION

### 5.2.6 Phasing

Construction of the proposed project, including recordation of final subdivision map(s), and design review may be progressively implemented in stages, provided that vehicular access, public facilities, and infrastructure are constructed to adequately service the development, or as needed for public health and safety. The project will be phased to:

- Provide for the orderly build-out of the community based upon market demand;
- Provide adequate infrastructure to service the project;
- Phases may occur concurrently so long as the associated infrastructure is provided.

Anticipated phasing is shown on Figure 5-1, *Phasing Plan*. The phases shown are an estimate of logical phasing based on infrastructure extensions and may change if market conditions permit or as part of final engineering. Parks and/or paseos would be constructed as part of the phase in which they occur. Table 5-2, *Infrastructure Phasing*, describes the anticipated infrastructure for each phase.

<b>Table 5-2 Infrastructure Phasing</b>				
Phase	Planning Areas	Units	Commercial	Improvements
1	8, 9, 10, 11, 21,	144	--	<p><u>Streets (includes any related promenades):</u>                      K-8: Half Width on frontage                      65th: Full Width to Street P                      Street O: Full Width                      Street Q-1: Full width                      Street P: Full width on frontage                      70th St.: Half width on frontage                      Street G and H: Full width</p> <p><u>Drainage:</u>                      Drainage (Basins) along 65th from K-8 to Street P                      Storm Drain in 65th Street from Avanti North connection at K-8 to Street P                      Storm Drain in Streets O, P and K-8/70<sup>th</sup> Street West</p> <p><u>Water:</u>                      Water Line in 65th from Avanti North connection at K-8 to Street P                      Water line in 70<sup>th</sup> street fronting PA-9 from Avanti North connection at K-8 and K-8 fronting Fire Station (PA8)                      Water Lines in Streets G, H, O Q-1 and P</p> <p><u>Sewer:</u>                      Sewer in 65th Street from Avanti North connection at K-8 to Street P                      Sewer Lines in Streets G, H, O, Q-1 and P</p>

# 5.0 ADMINISTRATION AND IMPLEMENTATION

Phase	Planning Areas	Units	Commercial	Improvements
2	12, 13, 17, 18	121	3.1 ac/47,260 sf	<p><u>Streets (includes any related promenades):</u>            Avenue K-8: Half Width on frontage            Street P: Full Width on frontage            Street I: Full width</p> <p><u>Drainage:</u>            Storm Drain in Avenue K-8 from 65<sup>th</sup> Street West to east boundary of phase 2, connection to Avanti North at 65<sup>th</sup> Street West.            Storm Drain in Street P along frontage, connection to basin.</p> <p><u>Water:</u>            Water-line in Streets-P and I, connection to Avanti North water line in Avenue K-8.</p> <p><u>Sewer:</u>            Sewer line in Street P along frontage, Ave K-8 and Street I</p>
3	24, 25, 26, 30	276	3 ac/45,280 sf	<p><u>Streets (includes any related promenades):</u>            65<sup>th</sup> Street West: Full width from Street P to Avenue L            Avenue L: Frontage Improvements            Streets R, S, T, U, V, W: full width within phase            Street P: Full Width on frontage</p> <p><u>Drainage:</u>            Drainage Basins along 65<sup>th</sup> Street West within phase            Storm drains in streets R, S, T and W connection to basin.            Storm drain at easterly boundary for off-site runoff.</p> <p><u>Water:</u>            Water line in 65<sup>th</sup> Street West from Street P to Avenue L            Water line in Avenue L from 65<sup>th</sup> Street West to easterly boundary, connection to Walmart            Water line in Street P along frontage, connection to Walmart</p> <p><u>Sewer:</u>            Sewer line in 65th Street West from Street P to Avenue L            Sewer lines within phase</p>

## 5.0 ADMINISTRATION AND IMPLEMENTATION

Phase	Planning Areas	Units	Commercial	Improvements
4	14, 15, 16	155	--	<p><u>Streets (includes any related promenades):</u>                      Avenue K-8: Half Width on frontage                      Streets J, K, L, M, N: full width                      Street U: full width within phase</p> <p><u>Drainage:</u>                      Storm drain at easterly boundary from Street P to Avenue K-8                      Storm drain in Avenue K-8 from phase 2 to easterly boundary</p> <p><u>Water:</u>                      Water lines within phase</p> <p><u>Sewer:</u>                      Sewer lines within phase</p>
5	19, 20, 22, 23	339	--	<p><u>Streets (includes any related promenades):</u>                      70<sup>th</sup> Street West: Half width on frontage                      Street P: full width improvements within phase                      Street Q: Full width within phase                      Street R: Half Width on frontage</p> <p><u>Drainage:</u>                      Storm drain in Street R, connection to basin</p> <p><u>Water:</u>                      Water line in 70<sup>th</sup> Street West fronting phase                      Water lines within phase</p> <p><u>Sewer:</u>                      Sewer lines within phase</p>
6	27, 28, 29	325	7.9 ac/121,050 sf	<p><u>Streets (includes any related promenades):</u>                      70<sup>th</sup> Street West: Half width on frontage                      Avenue L: Half width on frontage                      Street R: Half Width on frontage</p> <p><u>Drainage:</u>                      Completed in previous phases</p> <p><u>Water:</u>                      Water lines in 70<sup>th</sup> Street West and Avenue L fronting phase</p> <p><u>Sewer:</u>                      Sewer lines within phase</p>

## 5.0 ADMINISTRATION AND IMPLEMENTATION

Phase	Planning Areas	Units	Commercial	Improvements
7	3, 4	146	--	<p><u>Streets (includes any related promenades):</u>            70<sup>th</sup> Street West: Half Width on frontage            Avenue K-8: Half width on frontage            Avenue K-4: half width on frontage            Street D, E, F: full width improvements within phase</p> <p><u>Drainage:</u>            Retention basin within phase            Storm drains within phase</p> <p><u>Water:</u>            Water lines in Avenue K-8 and K-4 connecting to 70<sup>th</sup> Street line.            Water lines within phase</p> <p><u>Sewer:</u>            Sewer in Avenue K-4 along frontage connecting to Avanti North            Sewer lines within phase</p>
8	2, 6, 7	135	--	<p><u>Streets (includes any related promenades):</u>            Avenue K-8: Half width on frontage            Streets A, B, C: full width within phase</p> <p><u>Drainage:</u>            Retention basin within phase            Storm drains within phase</p> <p><u>Water:</u>            Water lines in Avenue K-8            Water lines within phase</p> <p><u>Sewer:</u>            Sewer in Avenue K-4 alignment and Street A</p>
9	1, 5	59	--	<p><u>Streets (includes any related promenades):</u>            75<sup>th</sup> Street West: Half width on frontage            Avenue K-8: Half width on frontage            Avenue K-4: half width on frontage            Street C: full width through planning area</p> <p><u>Drainage:</u>            Retention basin within phase            Storm drain within phase</p> <p><u>Sewer:</u>            Sewer line in Street A from Avenue K-4 to K-8</p>
		<b>1,700</b>	<b>14 ac/213,600 sf</b>	



# 5.0 ADMINISTRATION AND IMPLEMENTATION

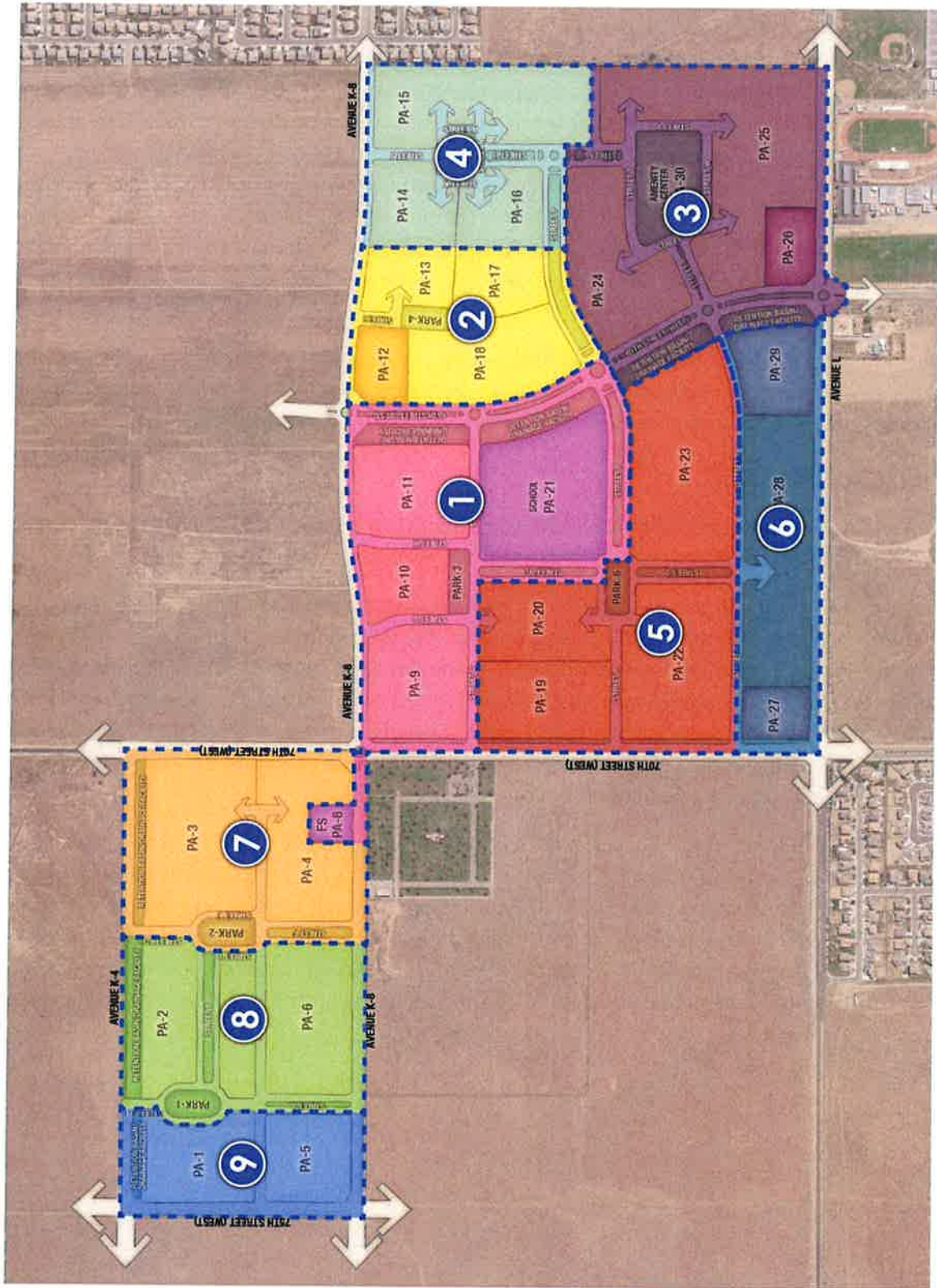


Figure 5-1 Phasing Plan

## 5.0 ADMINISTRATION AND IMPLEMENTATION

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### 5.2.7 Relationship to CEQA

The California Environmental Quality Act (CEQA) classifies a specific plan as a “project” which is subject to environmental review. An Environmental Impact Report (EIR) is required prior to adoption of this Specific Plan to analyze potentially significant environmental impacts of the project, discuss feasible alternatives, and recommend feasible mitigation measures in compliance with the provision of CEQA. This EIR will analyze the entire Avanti South Specific Plan and address potential impacts associated with the development of the Specific Plan area. The EIR includes recommended mitigation measures and analyzes implementing actions for the development. The EIR will fulfill the requirements for environmental documentation for most subsequent discretionary and ministerial applications for development within the Specific Plan area.

An approved Mitigation Monitoring Program shall insure that the Avanti South Specific Plan complies with all applicable environmental mitigation and permit requirements. The final Mitigation Monitoring and Reporting Program shall be adopted with EIR certification.

## 5.3 FISCAL IMPACTS

A Fiscal Impact Analysis was prepared by David Taussig & Associates, dated May 27, 2016 to analyze the fiscal impact from development of the Specific Plan on the City of Lancaster’s General Fund.

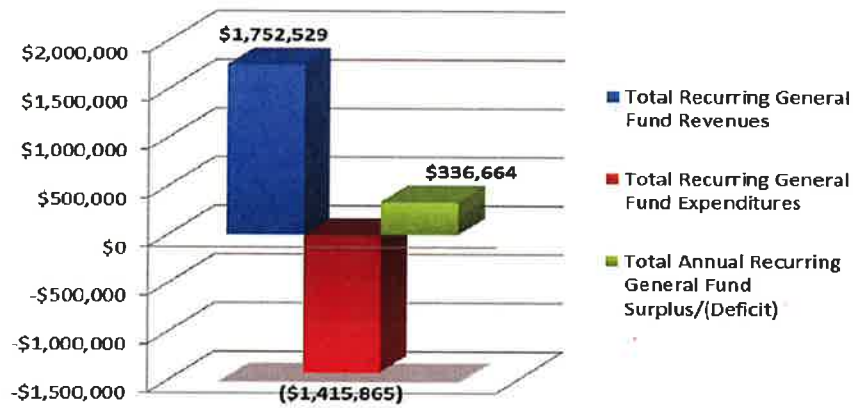
The purpose of the fiscal analysis is to estimate the net fiscal impacts of the project’s proposed development and construction on the City General Fund. The fiscal impacts identified in the Taussig Report include recurring municipal revenues and costs to the City General Fund that result from the land use scenario presented by the Avanti South Specific Plan. City General Fund revenues are generated from a variety of revenue sources, including property taxes, sales taxes, fees, and fines. Costs to the City General Fund are associated with a variety of services, such as public safety, community developments, parks, recreation and arts, and general government services.

As reflected in Table 5-3, *Net Fiscal Impact (City General Fund)*, and Figure 5-2, *Net Fiscal Impact (City General Fund)* below, the positive Net Fiscal Impact is estimated to be \$336,664 annually, based on \$1,752,529 in fiscal revenues and \$1,415,865 in fiscal costs. The fiscal surplus results primarily from Property Tax in-Lieu of Vehicle License Fee (28.4%), direct sales tax revenues (20.7%) and secured property tax revenues (16.6%), together constituting approximately 65.7% of total recurring revenues to the City General Fund. The Annual Revenue/Cost Ratio of 1.24 shows that the project will have a positive impact on the City’s General Fund.

## 5.0 ADMINISTRATION AND IMPLEMENTATION

Table 5-3 Net Fiscal Impact (City General Fund)	
Category	Amount
Total Recurring Revenues	\$1,752,259
Total Recurring Costs	(\$1,415,865)
Annual Recurring Surplus/(Deficit)	\$336,664
Annual Revenue/Cost Ratio	1.24

Source: David Taussig & Associates, May 27, 2016



**Figure 5-2 Net Fiscal Impact (City General Fund)**

## 5.0 ADMINISTRATION AND IMPLEMENTATION

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# 6 APPENDIX

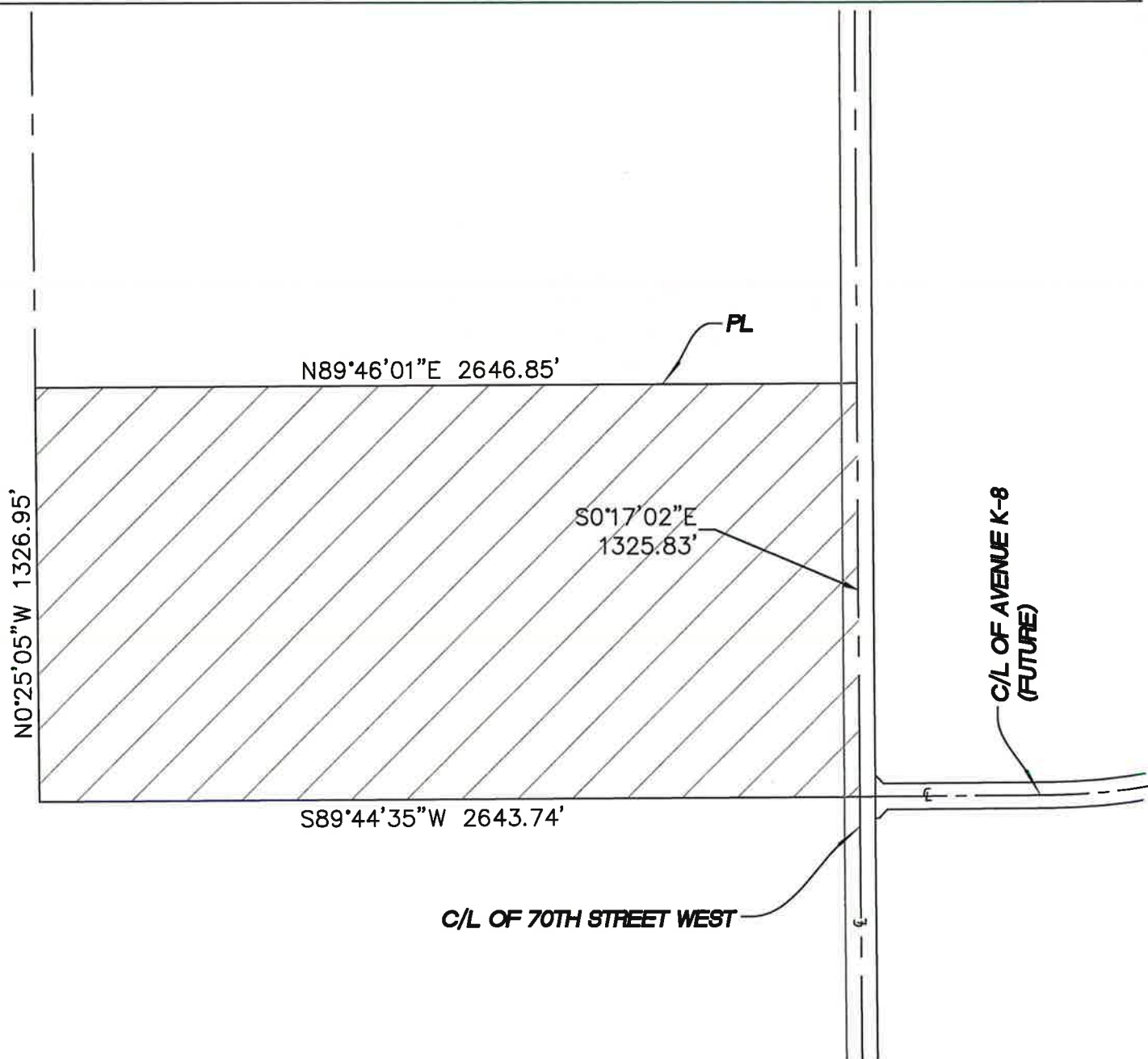
- Legal Descriptions




80 ACRES WEST OF 70TH STREET:

THE SOUTH HALF OF THE NORTHEAST QUARTER OF  
SECTION 28, TOWNSHIP 7 NORTH, RANGE 13 WEST, SAN  
BERNARDINO MERIDIAN, IN THE CITY OF LANCASTER,  
COUNTY OF LOS ANGELES, STATE OF CALIFORNIA.





**LEGEND:**

- T.P.O.B.** TRUE POINT OF BEGINNING
- P.O.C.** POINT OF COMMENCEMENT
- R/W** RIGHT OF WAY
- €** CENTER LINE
-  INDICATES PARCEL DESCRIBED



SCALE: 1" = 500'



THE MAIN PORTION ON NEC OF 70TH ST. WEST AND AVENUE L:

THAT PORTION OF SECTION 27, TOWNSHIP 7 NORTH, RANGE 13 WEST SAN BERNARDINO MERIDIAN DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT BEING THE CENTERLINE INTERSECTION OF 70TH STREET WEST AND AVENUE L, SAID POINT BEING THE SOUTHWEST CORNER OF SAID SECTION 27:

THENCE N 89° 59' 48" E 50.00 FEET ALONG THE SOUTH LINE OF SAID SECTION 27:

THENCE N 00° 17' 22" W 50.00 FEET TO A POINT BEING THE INTERSECTION OF THE NORTHERLY RIGHT OF WAY OF AVENUE L AND THE EASTERLY RIGHT OF WAY OF 70TH STREET WEST, SAID POINT BEING **THE TRUE POINT OF BEGINNING**.

THENCE N 00° 17' 22" W ALONG THE EASTERLY RIGHT OF WAY LINE OF 70TH STREET WEST 2601.48 FEET:

THENCE N 89° 42' 38" 555.26 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHERLY AND HAVING A RADIUS OF 2000.00 FEET;

THENCE EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 10.022° AN ARC DISTANCE OF 349.84 FEET;

THENCE N 79° 41' 18" E 156.86 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHERLY AND HAVING A RADIUS OF 2500.00 FEET;

THENCE EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 10.172° AN ARC DISTANCE OF 443.82 FEET;

THENCE N 89° 51' 36" E 514.24 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHERLY AND HAVING A RADIUS OF 3500.00 FEET;

THENCE EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 7.993° AN ARC DISTANCE OF 488.25 FEET;

THENCE N 82° 08' 50" W 230.14 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHERLY AND HAVING A RADIUS OF 3500.00 FEET;

THENCE EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 7.993° AN ARC DISTANCE OF 488.25 FEET;

THENCE N 89° 51' 36" E 699.57 FEET TO A POINT ON THE WESTERLY BOUNDARY OF TRACT MAP NO. 060450, CITY OF LANCASTER, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP BOOK RECORDED IN BOOK 1306, PAGES 94 THROUGH 198, INCLUSIVE OF MAPS, IN THE OFFICE OF RECORDER OF SAID COUNTY;

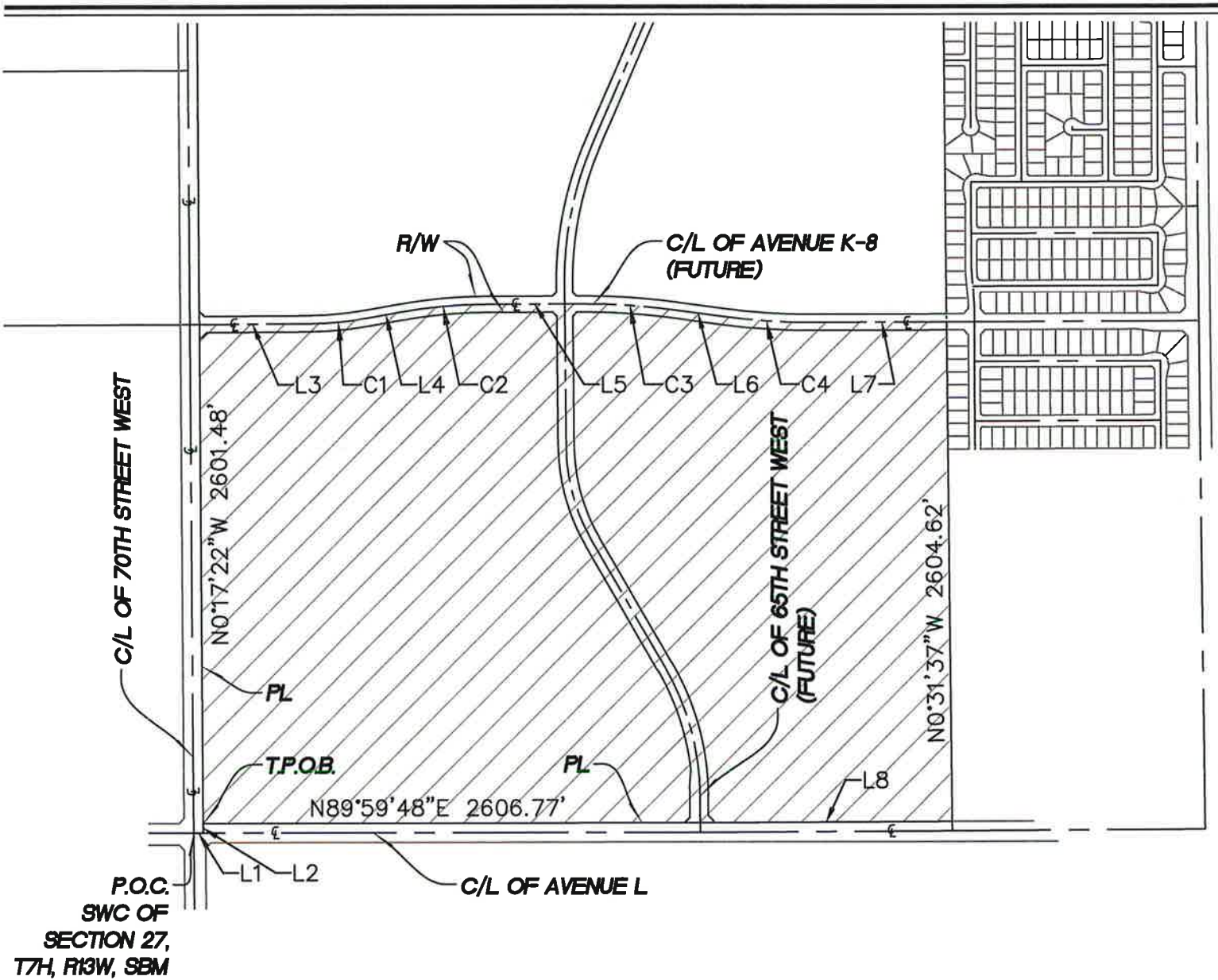
THENCE S 00° 31' 37" E 2562.62 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF AVENUE L;

THENCE S 89° 43' 48" W 1318.22 FEET;

THENCE S 89° 59' 48" W 2606.77 FEET TO THE **TRUE POINT OF BEGINNING**.

CONTAINING 238.11 ACRES, MORE OR LESS.





\*LINE AND CURVE TABLES CONTINUED ON SHEET 2

**LEGEND:**

**T.P.O.B.** TRUE POINT OF BEGINNING

**P.O.C.** POINT OF COMMENCEMENT

**R/W** RIGHT OF WAY

€ CENTER LINE

 INDICATES PARCEL DESCRIBED



SCALE: 1" = 800'

LINE TABLE		
LINE	LENGTH	BEARING
L1	50.00	N89°59'48"E
L2	50.00	N0°17'22"W
L3	555.26	N89°42'38"E
L4	156.86	N79°41'18"E
L5	514.24	N89°51'36"E
L6	230.14	S82°08'50"E
L7	699.57	N89°51'36"E
L8	1318.22	S89°43'48"W

CURVE TABLE				
CURVE	RADIUS	LENGTH	DELTA	TANGENT
C1	2000.00'	349.84'	10.022°	175.37'
C2	2500.00'	443.82'	10.172°	222.50'
C3	3500.00'	488.25'	7.993°	244.52'
C4	3500.00'	488.25'	7.993°	244.52'

**LEGEND:**

**T.P.O.B.** TRUE POINT OF BEGINNING

**P.O.C.** POINT OF COMMENCEMENT

**R/W** RIGHT OF WAY

€ CENTER LINE

 INDICATES PARCEL DESCRIBED



SCALE: 1" = 800'

