



CHAPTER 5 - REGULATING CODE

5.1 INTRODUCTION AND USER'S GUIDE

INTRODUCTION

This Chapter contains the development specifications, regulations, and design guidelines for all development projects within the Downtown Lancaster Specific Plan Boundary (see Figure 5-1). The development specifications, regulations, and guidelines within this Chapter shall only be pre-empted by a previously adopted local, state, or federal code or ordinance (such as the Building, Plumbing, Electrical, Mechanical Codes, or Zoning Ordinance) when it is absolutely necessary to insure public health, welfare, or safety. Should any conflict arise between the provisions within this Chapter and the City of Lancaster Zoning Ordinance (Title 17 of the Lancaster Municipal Code), the provisions of this Chapter shall apply unless a provision from the Zoning Ordinance is required to ensure public health, welfare, or safety. Interpretation of the standards in this Chapter shall be the responsibility of the City of Lancaster Community Development Department.

If any provisions of this Chapter, or the application thereof to any person or circumstance is held invalid, the remainder of the Chapter, and the application of such provision to other persons or circumstances, shall not be affected thereby.

USER'S GUIDE

The Specific Plan for Downtown Lancaster introduces a new, innovative approach to regulating downtown development. The following steps will help users of the Specific Plan understand the development regulations and design guidelines for Downtown Lancaster.

Step 1: Refer to Section 5.2 (Downtown Districts) and Figure 5-1 (District Map) to determine the district of the proposed project site.

Step 2: Turn to Section 5.3 Downtown Land Uses and Table 5-1 (Land Uses and Permit Requirements) to determine the types of uses that are permitted, permitted with conditions, and prohibited within the applicable District.

Step 3: Turn to Section 5.4 (Building Types and Regulating Plans) and Figure 5-2 (Allowed Building Types) to determine the types of buildings that are allowed within Downtown Lancaster.

Step 4: Refer to the Regulating Plan for the applicable district. Each Regulating Plan contains sub-districts. Determine the sub-district of the project site to identify the types of buildings that are allowed on the property. The regulating plans are provided on the following Figures:

- ◆ Figure 5-3: Boulevard District Regulating Plan
- ◆ Figure 5-4: Commerce District Regulating Plan
- ◆ Figure 5-5: Transit District Regulating Plan
- ◆ Figure 5-6: Gateway District Regulating Plan
- ◆ Figure 5-7: Neighborhood Office Regulating Plan
- ◆ Figure 5-8: Civic Village Regulating Plan

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- ◆ Figure 5-9: Cedar Avenue Arts District

Step 5: Review the Development Specifications of the building types permitted within the sub-district (refer to Figures 5-10 through 5-17). The specifications on these Figures deal with site layout, mass and height, façade elements, and location of uses within the building. Based on the specifications, determine which building type is best suited to meet individual project goals and objectives.

Step 6: Turn to the Section 5.5 and Figure 5-18 (Maximum Building Heights) to determine the maximum number of floors allowed on the property.

Step 7: Turn to Section 5.6, Design Regulations and Guidelines, to review additional design regulations and guidelines that are applicable to your project. The regulations within Section 5.6 supplement the Development Specifications on Figure 5-10 through 5-17. The Design Regulations and Guidelines in Section 5.6 deal with more specific details related to building and site design and are intended to further define the desired image and character of development in Downtown Lancaster.

Step 8: Contact the City of Lancaster if you have specific questions related to the Downtown Regulating Code.

5.2 DOWNTOWN DISTRICTS

Downtown Lancaster contains several districts:

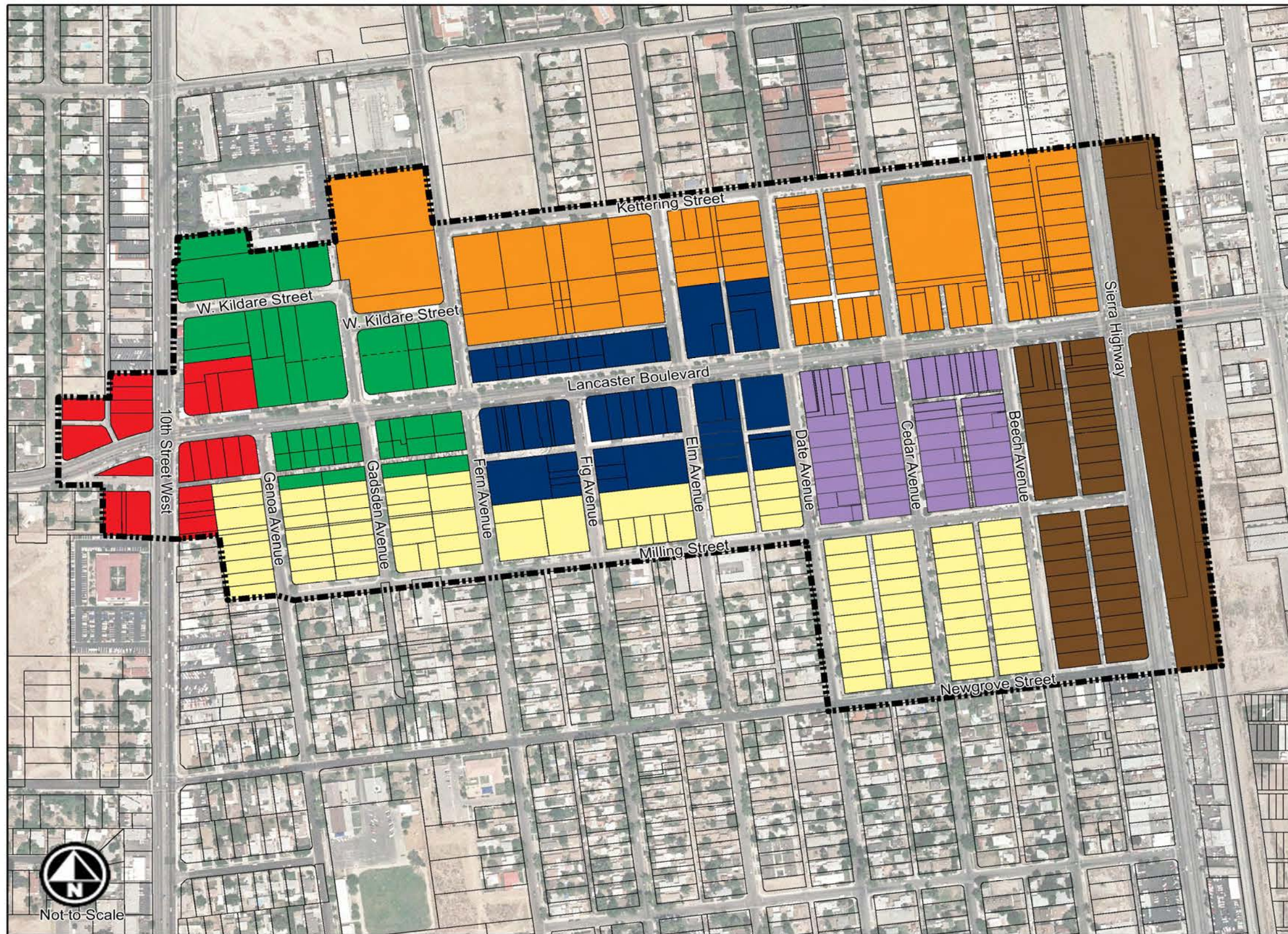
- ◆ Boulevard District
- ◆ Commerce District
- ◆ Transit District
- ◆ Gateway District
- ◆ Neighborhood Office
- ◆ Civic Village
- ◆ Cedar Avenue

The overall vision for each district is described in detail in Section 3.5. The locations of the Districts are illustrated on Figure 5-1. Within each district, there are certain types of uses and buildings that are allowed. To determine the types of uses, refer to Section 5.3. To determine the types of buildings allowed in the districts, refer to Section 5.4.

5.3 DOWNTOWN LAND USES

A mix of retail, office, residential, and civic uses are allowed on Downtown properties. For a specific land use to be established in the Downtown Lancaster, it must pass two specific tests as described below:

- ◆ Test 1: All land uses within Downtown Districts must be permitted by Table 5-1 (provided on the following page). Table 5-1 identifies uses that are permitted by right within the Downtown, and uses that are permitted subject to the approval of a Conditional Use Permit. Uses that are specifically prohibited uses are also provided.
- ◆ Test 2: There are a variety of different building types allowed within Downtown Lancaster (refer to Section 5.4). Some uses may not be appropriate for certain types of buildings. For example, an entertainment use would not be appropriate for a detached house building type. Therefore, for a permitted use to be established, it must also be compatible with the Use Specifications of the specific building on the property. Use Specifications for each allowed building type within Downtown are provided in Section 5.4 on Figures 5-10 through 5-17.



Downtown Lancaster Specific Plan
Figure 5-1: District Map

-  Boulevard District
-  Cedar Avenue Arts District
-  Commerce District
-  Civic Village District
-  Neighborhood Office District
-  Transit District
-  Gateway District

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**Table 5-1:
Land Uses and Permit Requirements**

Uses	Downtown Districts:						
	BD	CD	TD	CA	CV	GD	NO
Retail/Service:							
Retail Store	P*	P*	P*	P*	C	P*	D*
Grocery Store/Mini Mart/Neighborhood Market	C	C	C	C	C	C	C
Personal Services	P	P	P	P	P	P	D
Restaurants/Cafe/Bakery/Deli	P*	P*	P*	P*	P*	P*	D
Bar/Nightclub/Dance Club	C	C	C	C	C	C	--
Art Gallery	P	P	P	P	P	P	D
Bank/Credit Union	C	P	C	C	C	C	D
Automated Teller Machine	P	P	P	P	P	P	D
Entertainment (theater, live music, karaoke, comedy, etc.)	C	C	C	C	C	C	C
Active Entertainment (virtual reality, escape rooms, etc)	D*	D*	D*	D*	D*	D*	D*
Similar retail/service use to those permitted above	P/C/D	P/C/D	P/C/D	P/C/D	P/C/D	P/C/D	P/C/D
Office:							
Professional Office	P	P	P	P	P	P	D
Medical/Dental Office	P	P	P	P	P	P	D
Similar office use to those permitted above	P/C/D	P/C/D	P/C/D	P/C/D	P/C/D	P/C/D	P/C/D
Lodging:							
Hotel/Bed and Breakfast Rooms	P	P	P	P	P	P	--
Conference/Meeting Room Space	P	P	P	P	P	P	--
Similar lodging use to those permitted above	P	P	P	P	P	P	--
Public/Semi-Public:							
Government Office	P	P	P	P	P	P	D
Day Care Center	P	P	P	P	C	P	D
Church/Religious Institution	C	C	C	C	C	C	D
Post Office	P	P	C	P	P	C	D
School	C	C	C	C	C	C	D
Recreation/Museum/Cultural	P	P	P	P	P	P	P
Similar public/semi-public use to those permitted above	P/C/D	P/C/D	P/C/D	P/C/D	P/C/D	P/C/D	P/C/D
Residential:							
Detached Single-Family Unit	--	--	--	--	--	--	D
Condominium/Apartment/Studio/Loft Units	P	P	P	P	P	P	P
Assisted living facility	C	C	C	C	C	C	--
Home occupation/Artist Studio/Home Office	P	P	P	P	P	P	P
Similar residential use to those permitted above	P/C/D	P/C/D	P/C/D	P/C/D	P/C/D	P/C/D	P/C/D
Prohibited Uses:							
Outdoor storage on private property	--	--	--	--	--	--	--
Manufacturing/warehouse/light or heavy industrial	--	--	--	--	--	--	--
Hospital	--	--	--	--	--	--	--
Gas/service stations	--	--	--	--	--	--	--
Adult only/Sexually-oriented businesses	--	--	--	--	--	--	--
Check Cashing for a Fee/Cash Advance/Bail bonds	--	--	--	--	--	--	--
Pawn Shop	--	--	--	--	--	--	--
Key: P Permitted Use C Conditional Use Permit Required D Director's Review Required -- Prohibited Use P/C/D Permitted if similar to permitted uses in the District or Director's Review required if similar to other uses that require a Director's Review in the District or Conditional Use Permit required if similar to other uses that require a Conditional Use Permit in the District * See text regarding alcohol sales							
BD: Boulevard District		TD: Transit District		CV: Civic Village District			
CD: Commerce District		NO: Neighborhood Office District		CA: Cedar Avenue Arts District			
GD: Gateway District							

OUTDOOR USES

Outdoor dining, merchandise displays, entertainers, temporary sidewalk/parking lot sales, and pushcart vendors may occur within the public sidewalk and on private outdoor spaces with the approval of an Outdoor Use Permit. The Planning Director has the authority to issue an Outdoor Use Permit if the following findings can be made.

- ◆ If located on a public sidewalk, the proposed use will maintain a minimum clear sidewalk path of at least five feet.
- ◆ The proposed use will not interfere with the ability of adjacent businesses, residents, or property owners to enjoy their property.
- ◆ If located on public property, the applicant has agreed to indemnify the City with an indemnification agreement satisfactory to the City Attorney. The applicant has also agreed to maintain liability insurance in the nature and amount satisfactory to the City Manager and City Attorney in order to protect the City from any potential claims that may arise from activity related to the use of public property. The policy shall name the City as an additional insured.
- ◆ The proposed use will not, under the circumstances of this particular case, be detrimental or injurious to property and improvements in the neighborhood, or to the general welfare of the City.

The Planning Director's decision to issue or deny an Outdoor Use Permit may be appealed to the Planning Commission.

NON-CONFORMING USES/BUILDINGS

Within Downtown Lancaster, there are uses and buildings that were lawfully established prior to the adoption of this Specific Plan. Many of these uses and buildings would not be allowed under the terms of this Specific Plan. As such, they are defined as non-conforming uses and buildings. Sections 17.32.830 thru 17.32.880 of the City of Lancaster Zoning Ordinance shall regulate non-conforming uses and buildings within Downtown Lancaster.

Commercial facade enhancements or renovations to legal non-conforming buildings shall be allowed if the enhancement or renovation does not enlarge the square footage of the building and the cost of the facade enhancement or renovation does not exceed 50% of the total replacement cost for the entire building or structure (as determined by the current building valuation guide sheet used by the Department of Building and Engineering Services to ascertain plan check and building permit fees). Projects that involve commercial facade enhancement or renovations to legal non-conforming buildings shall not be required to comply with the Development Specifications on Figure 5-10 through 5-17 since the non-conforming building was developed under different zoning regulations and standards. However, commercial facade enhancements or renovations shall be required to comply with the applicable facade Design Standards and Design Guidelines contained in Section 5-6 of this Specific Plan.

ALCOHOL USES

On-site alcohol sales and off-site alcohol sales shall require approval of a Conditional Use Permit or a Director's Review as provided in Chapter 17.42 of the Lancaster Municipal Code. On-site alcohol sales of beer and wine at a bona-fide restaurant shall require a Director's review. The separation distance requirements as contained in Chapter 17.42 shall not apply within the Downtown Lancaster Specific Plan.

TEMPORARY USES

Temporary uses that are allowed in Downtown Lancaster include:

- ◆ Storage of building materials used in the construction of a building or building project during the time of construction and 30 days thereafter. All materials shall be stored on the construction site or within approved construction staging areas.
- ◆ Temporary office for contractor involved in the construction of a building or building project during the time of construction and 30 days thereafter. The office shall be located on the construction site or within approved construction staging areas.
- ◆ Temporary residential sales offices associated with the construction of new condominium units.
- ◆ Temporary construction signs subject to the restrictions outlined in Section 17.12.420 of the City of Lancaster Zoning Ordinance.
- ◆ Temporary real estate signs subject to the restrictions outlined in Section 17.12.410 of the City of Lancaster Zoning Ordinance.

5.4 BUILDING TYPES AND REGULATING PLANS

BUILDING TYPES

A building type refers to a group of buildings that share common characteristics, such as lot placement, mass and scale, and architectural elements. Examples of different building types include skyscrapers, warehouses, detached homes, rowhouses, and commercial block buildings. Within Downtown Lancaster, the following building types are allowed:

- ◆ Commercial Block Buildings
- ◆ “Main Street” Commercial Block Buildings
- ◆ Live-Work Lofts
- ◆ Courtyard Buildings
- ◆ Rowhouses
- ◆ Stacked Flat Buildings
- ◆ Detached Houses
- ◆ Garage/Accessory Building

Figure 5-2 shows conceptual illustrations of the above building types.

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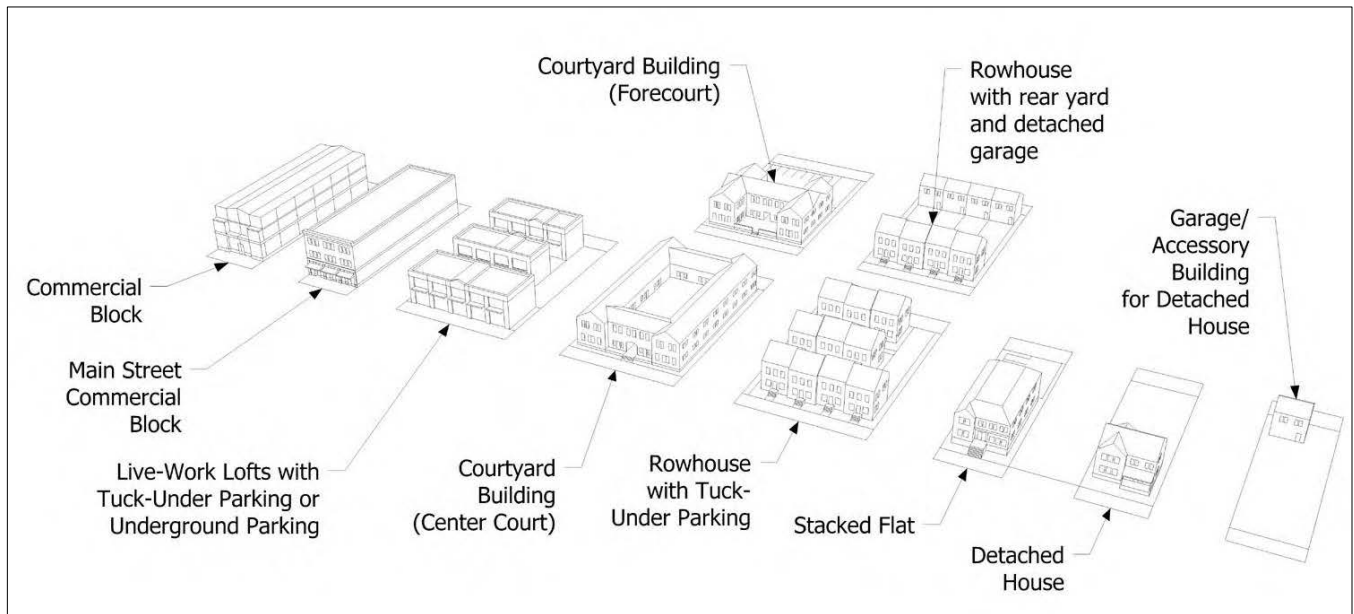


Figure 5-2: Conceptual illustrations of Allowed Building Types

In addition to the above building types, civic and public buildings (such as City Hall, churches, post office, and public recreation centers) are allowed within all of the Downtown Districts subject to approval by the City Council. Civic and public uses are of special public importance to Downtown Lancaster. In order to provide maximum flexibility for the design of civic and public buildings, this Specific Plan does not prescribe specific development specifications or design regulations for such buildings. However, architects and designers of civic and public buildings should strive to design buildings that are compatible with the form and character of buildings allowed by this Specific Plan.

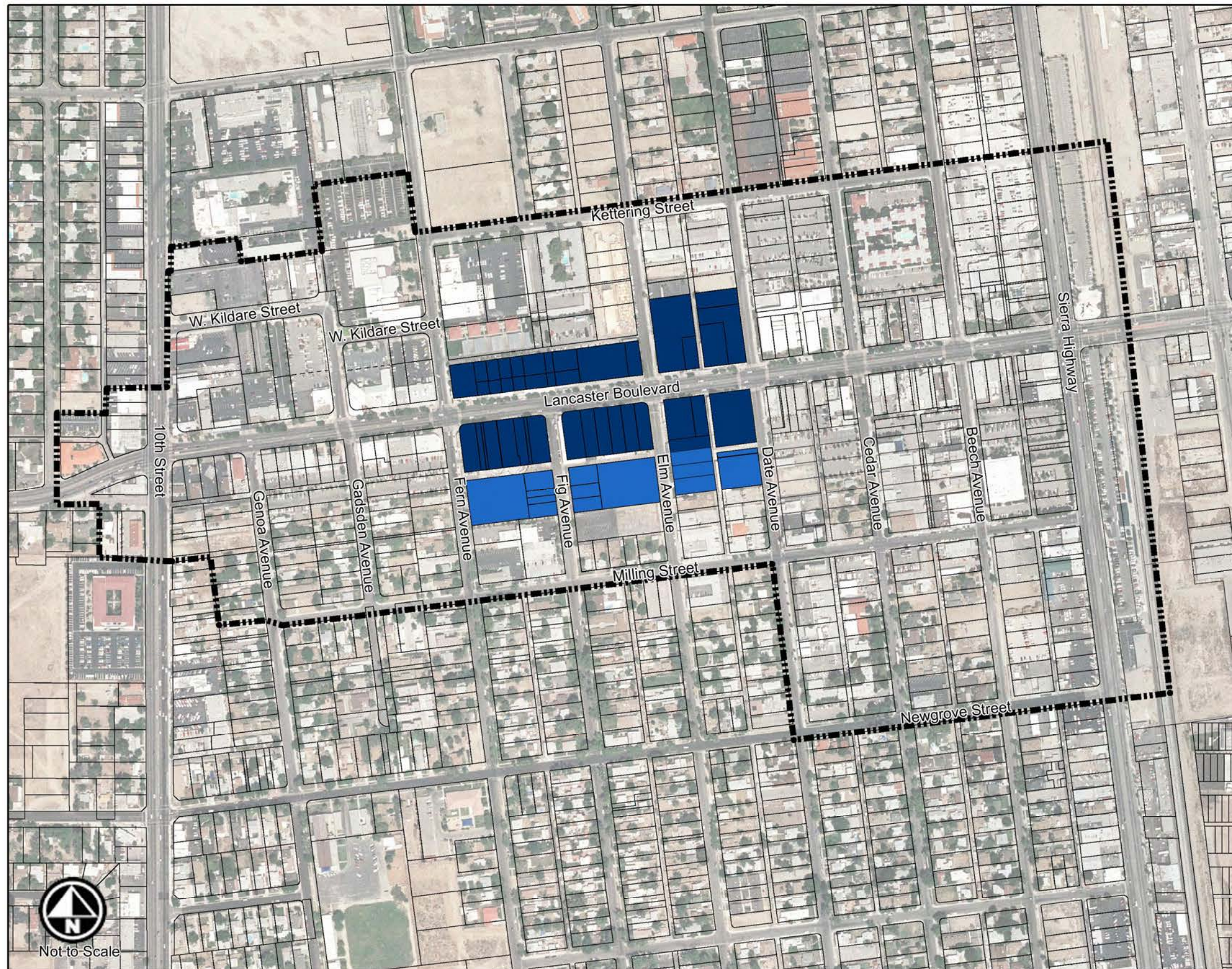
If an existing civic or public use within Downtown is relocated, then the existing building may be reused with a permitted or conditionally permitted use. If the property is redeveloped, then the redevelopment project shall be required to comply with the provisions of this Specific Plan.

REGULATING PLANS

A regulating plan is generally defined as a plan or map that designates how site and building design standards are applied to individual properties. For Downtown Lancaster, there is a regulating plan for each of the Downtown Districts. Each Regulating Plan determines the appropriate locations of the building types that are allowed in Downtown Lancaster. The Regulating Plans are provided on the following Figures:

- ◆ Figure 5-3: Boulevard District Regulating Plan
- ◆ Figure 5-4: Commerce District Regulating Plan
- ◆ Figure 5-5: Transit District Regulating Plan
- ◆ Figure 5-6: Gateway District Regulating Plan
- ◆ Figure 5-7: Neighborhood Office Regulating Plan
- ◆ Figure 5-8: Civic Village Regulating Plan
- ◆ Figure 5-9: Cedar Avenue Arts District

Downtown Lancaster Specific Plan
Figure 5-3: Boulevard District Regulating Plan



- Subdistrict BD-1**
Building Types Allowed:
 "Main Street" Commercial Block Buildings

- Subdistrict BD-2:**
Building Types Allowed:
 Courtyard Buildings
 Stacked Flat Buildings
 Live-Work Lofts
 Rowhouses

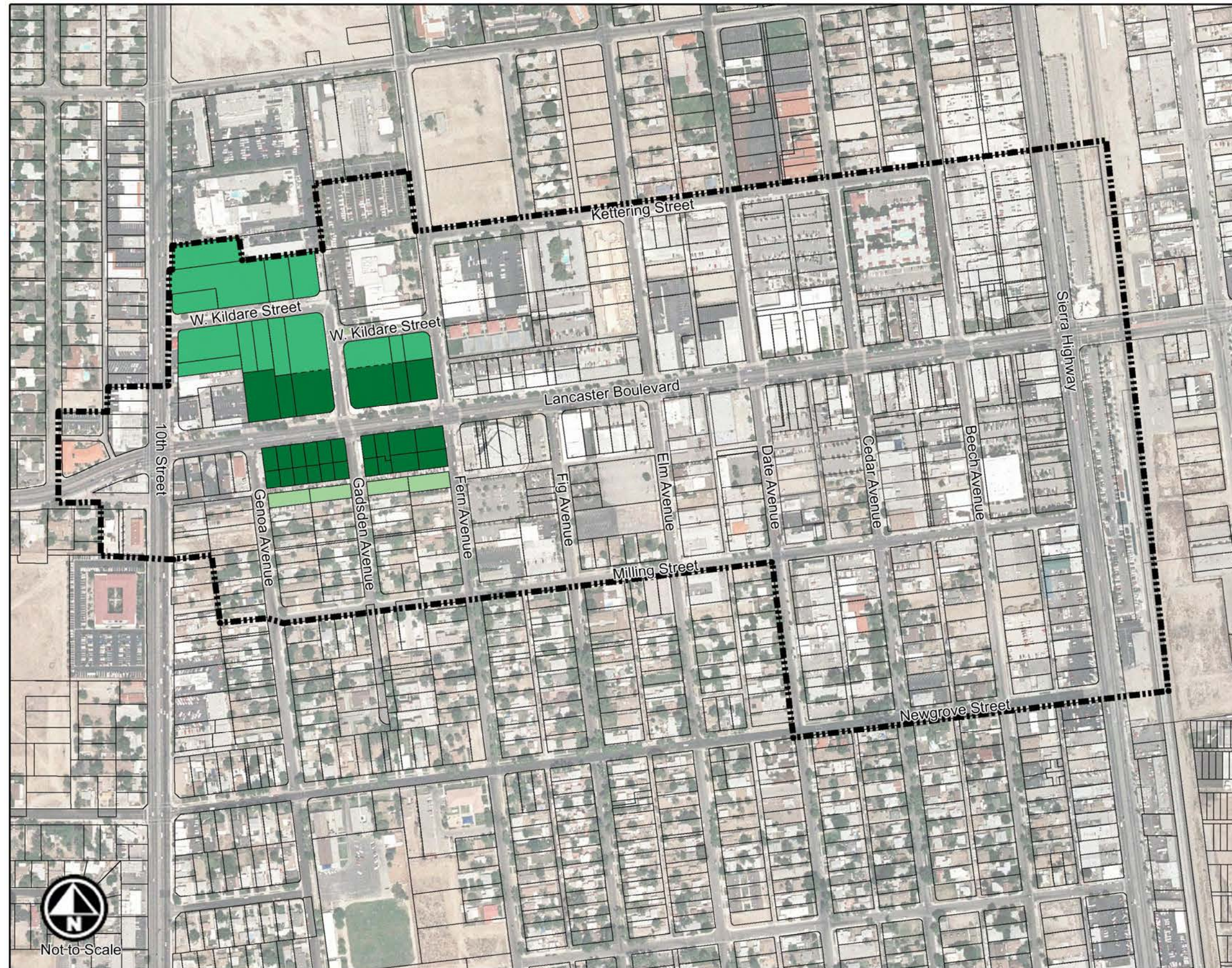
Notes:
 The above building types are only allowed if the minimum lot width and lot depth specifications for the applicable building type are satisfied (refer to the Site Specifications on Figures 5-10 thru 5-17). Multiple lots may be merged to meet the minimum site specifications of the applicable building type.

In addition to the above building types, civic and public buildings are allowed within all Downtown Districts subject to the approval of the Reviewing Agency. If an existing civic or public use within Downtown is relocated, then the existing building may be reused with a permitted or conditionally permitted use. If the property is redeveloped, then the redevelopment project shall be required to comply with this Regulating Plan and other applicable provisions of the Specific Plan.



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Downtown Lancaster Specific Plan
Figure 5-4: Commerce District Regulating Plan

- Subdistrict CD-1**
Building Types Allowed:
 Commercial Block Buildings

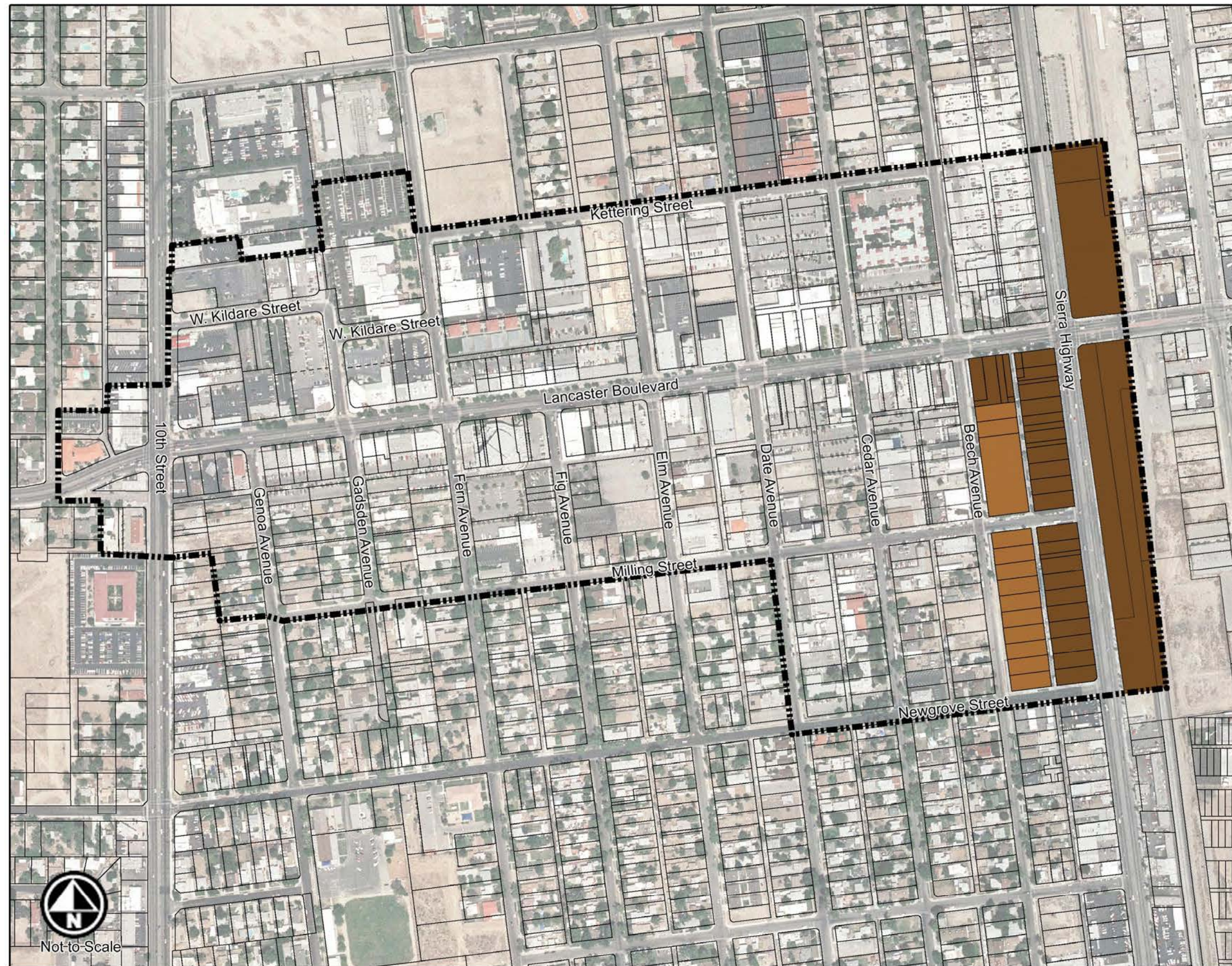
- Subdistrict CD-2:**
Building Types Allowed:
 Commercial Block Buildings
 Stacked Flat Buildings
 Courtyard Buildings
 Live-Work Lofts

- Subdistrict CD-3:**
Building Types Allowed:
 If developed with the parcels to the north, these properties shall be developed with Commercial Block Buildings. If developed independent of the parcels to the north, these properties may be developed with Detached Houses.

Notes:
 The above building types are only allowed if the minimum lot width and lot depth specifications for the applicable building type are satisfied (refer to the Site Specifications on Figures 5-10 thru 5-17). Multiple lots may be merged to meet the minimum site specifications of the applicable building type.

In addition to the above building types, civic and public buildings are allowed within all Downtown Districts subject to the approval of the Reviewing Agency. If an existing civic or public use within Downtown is relocated, then the existing building may be reused with a permitted or conditionally permitted use. If the property is redeveloped, then the redevelopment project shall be required to comply with this Regulating Plan and other applicable provisions of the Specific Plan.

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Downtown Lancaster Specific Plan
**Figure 5-5: Transit District
 Regulating Plan**

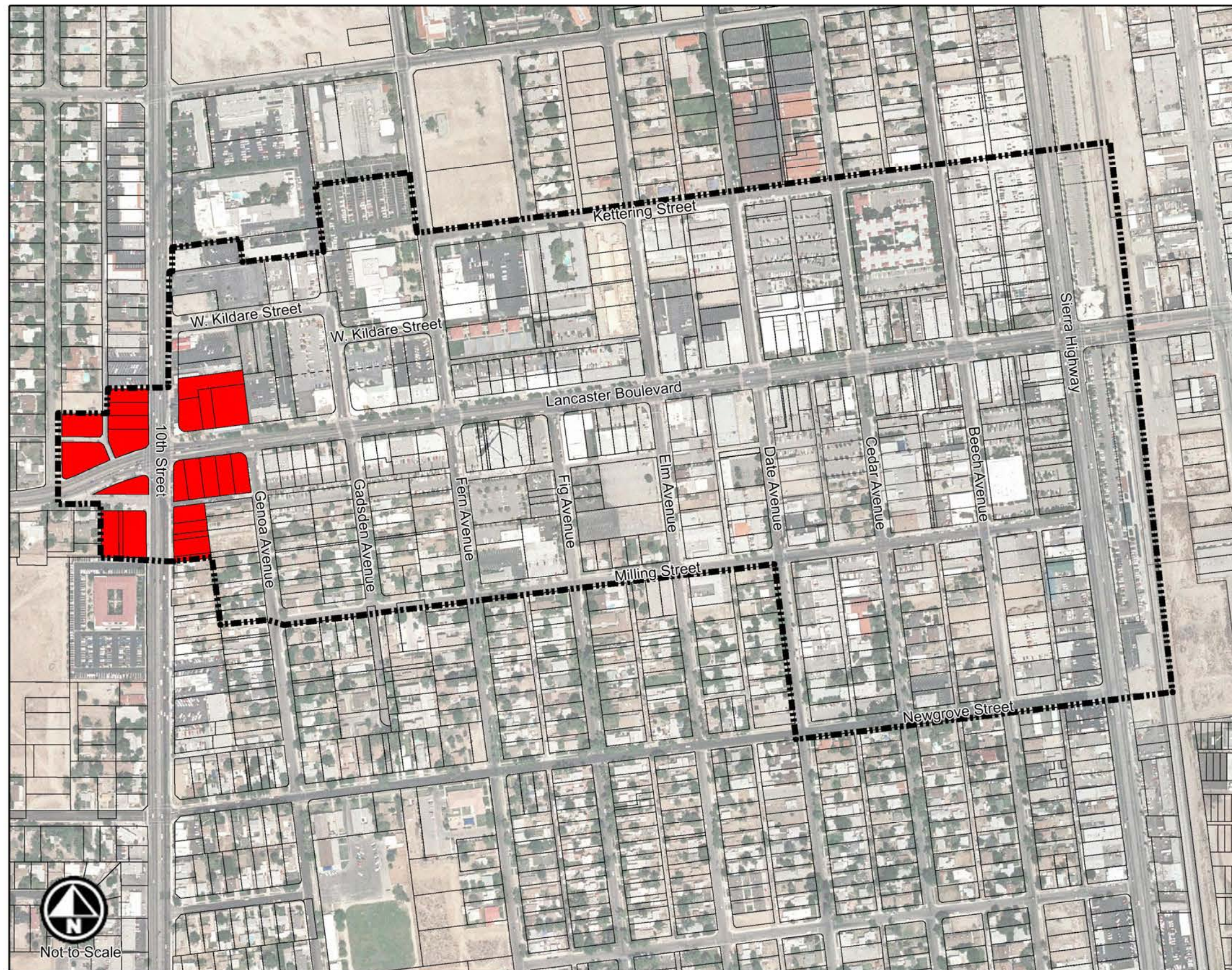
- Subdistrict TD-1**
Building Types Allowed:
 Commercial Block Buildings
 "Main Street" Commercial Block Buildings

- Subdistrict TD-2**
Building Types Allowed:
 Courtyard Buildings
 Stacked Flat Buildings
 Rowhouses
 Live-Work Lofts

Notes:
 The above building types are only allowed if the minimum lot width and lot depth specifications for the applicable building type are satisfied (refer to the Site Specifications on Figures 5-10 thru 5-17). Multiple lots may be merged to meet the minimum site specifications of the applicable building type.

In addition to the above building types, civic and public buildings are allowed within all Downtown Districts subject to the approval of the Reviewing Agency. If an existing civic or public use within Downtown is relocated, then the existing building may be reused with a permitted or conditionally permitted use. If the property is redeveloped, then the redevelopment project shall be required to comply with this Regulating Plan and other applicable provisions of the Specific Plan.

Downtown Lancaster Specific Plan
**Figure 5-6: Gateway
 District Regulating Plan**



Subdistrict GD-1
Building Types Allowed:
 Commercial Block Buildings

Notes:
 The above building types are only allowed if the minimum lot width and lot depth specifications for the applicable building type are satisfied (refer to the Site Specifications on Figures 5-10 thru 5-17). Multiple lots may be merged to meet the minimum site specifications of the applicable building type.

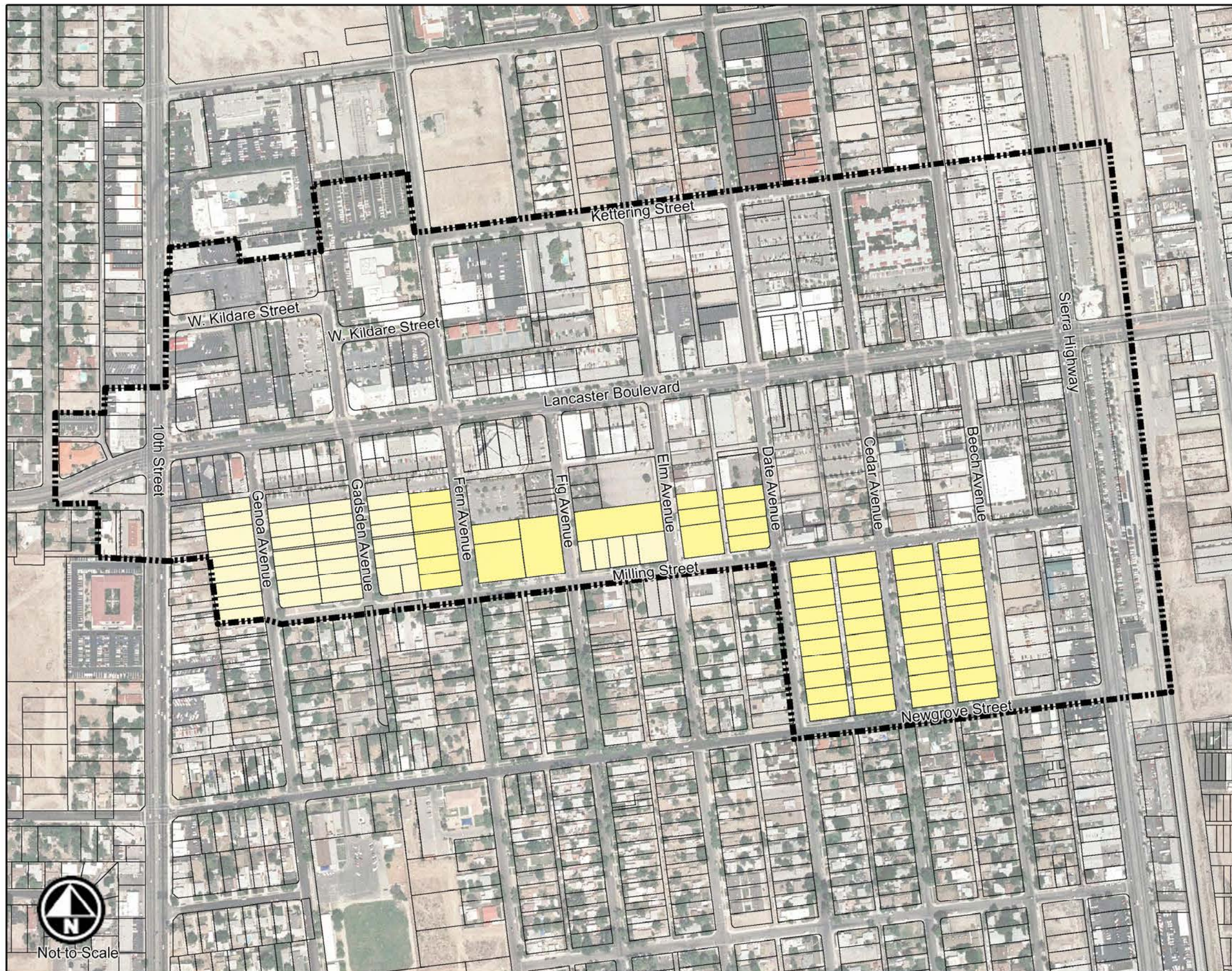
In addition to the above building types, civic and public buildings are allowed within all Downtown Districts subject to the approval of the Reviewing Agency. If an existing civic or public use within Downtown is relocated, then the existing building may be reused with a permitted or conditionally permitted use. If the property is redeveloped, then the redevelopment project shall be required to comply with this Regulating Plan and other applicable provisions of the Specific Plan.



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Downtown Lancaster Specific Plan
Figure 5-7: Neighborhood Office District Regulating Plan



- Subdistrict NO-1**
Building Types Allowed:
 Courtyard Buildings
 Stacked Flat Buildings
 Rowhouses

- Subdistrict NO-2**
Building Types Allowed:
 Detached Houses
 Rowhouses
 Garage/Accessory Building

Notes:
 The above building types are only allowed if the minimum lot width and lot depth specifications for the applicable building type are satisfied (refer to the Site Specifications on Figures 5-10 thru 5-17). Multiple lots may be merged to meet the minimum site specifications of the applicable building type.

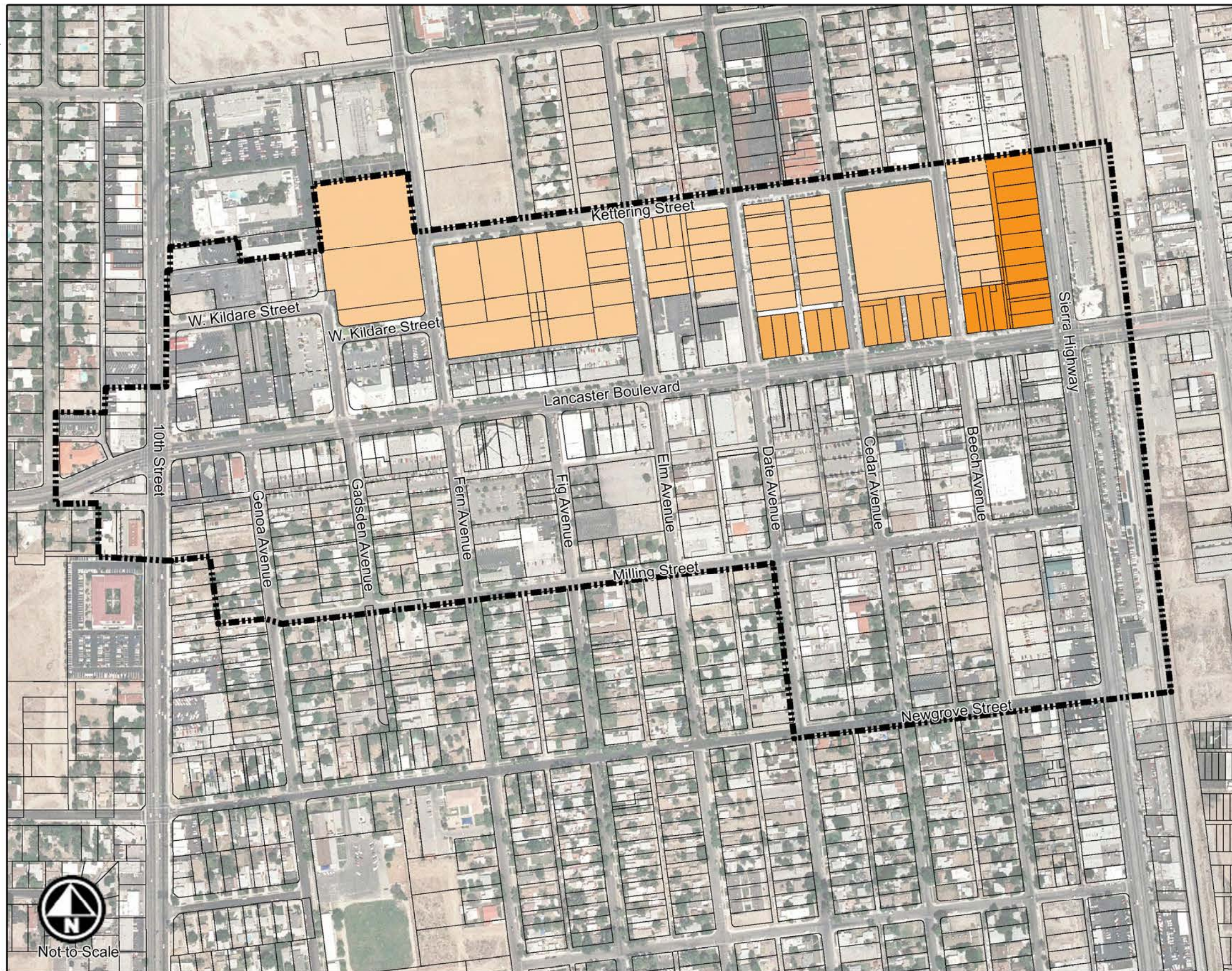
In addition to the above building types, civic and public buildings are allowed within all Downtown Districts subject to the approval of the Reviewing Agency. If an existing civic or public use within Downtown is relocated, then the existing building may be reused with a permitted or conditionally permitted use. If the property is redeveloped, then the redevelopment project shall be required to comply with this Regulating Plan and other applicable provisions of the Specific Plan.





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Downtown Lancaster Specific Plan
Figure 5-8: Civic Village District Regulating Plan



- 
Subdistrict CV-1
Building Types Allowed:
 "Main Street" Commercial Block Buildings
 Commercial Block Buildings

- 
Subdistrict CV-2:
Building Types Allowed:
 "Main Street" Commercial Block Buildings

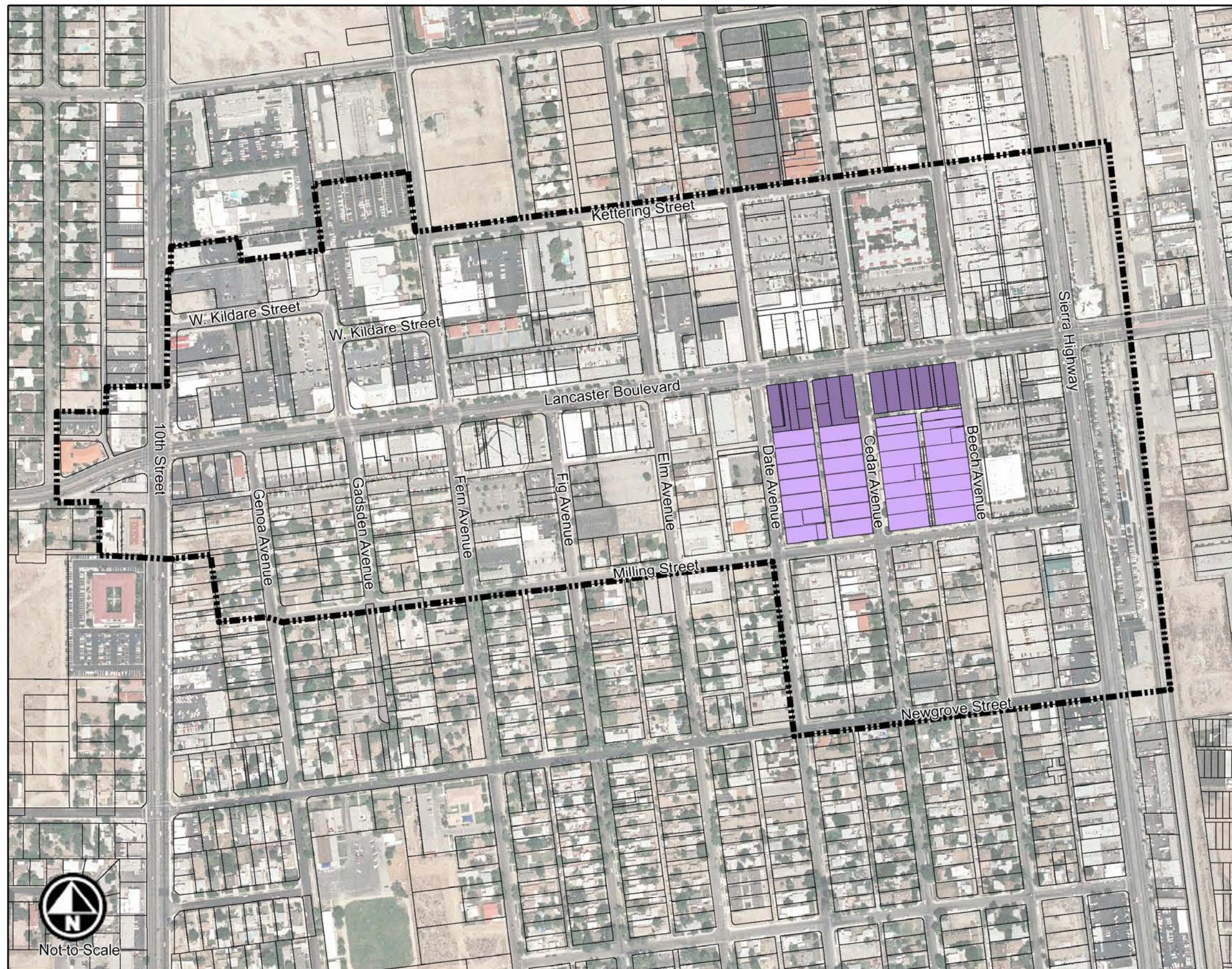
- 
Subdistrict CV-3:
Building Types Allowed:
 Courtyard Buildings
 Stacked Flats Buildings
 Live-Work Lofts
 Rowhouses

Notes:
 The above building types are only allowed if the minimum lot width and lot depth specifications for the applicable building type are satisfied (refer to the Site Specifications on Figures 5-10 thru 5-17). Multiple lots may be merged to meet the minimum site specifications of the applicable building type.

In addition to the above building types, civic and public buildings are allowed within all Downtown Districts subject to the approval of the Reviewing Agency. If an existing civic or public use within Downtown is relocated, then the existing building may be reused with a permitted or conditionally permitted use. If the property is redeveloped, then the redevelopment project shall be required to comply with this Regulating Plan and other applicable provisions of the Specific Plan.

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Downtown Lancaster Specific Plan
**Figure 5-9: Cedar Avenue Arts District
 Regulating Plan**



- Subdistrict CA-1**
Building Types Allowed:
 "Main Street" Commercial Block Buildings

- Subdistrict CA-2:**
Building Types Allowed:
 Stacked Flat Buildings
 Courtyard Buildings
 Live-Work Lofts

Notes:
 The above building types are only allowed if the minimum lot width and lot depth specifications for the applicable building type are satisfied (refer to the Site Specifications on Figures 5-10 thru 5-17). Multiple lots may be merged to meet the minimum site specifications of the applicable building type.

In addition to the above building types, civic and public buildings are allowed within all Downtown Districts subject to the approval of the Reviewing Agency. If an existing civic or public use within Downtown is relocated, then the existing building may be reused with a permitted or conditionally permitted use. If the property is redeveloped, then the redevelopment project shall be required to comply with this Regulating Plan and other applicable provisions of the Specific Plan.

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DEVELOPMENT SPECIFICATIONS FOR BUILDING TYPES

Development specifications (or development standards) are provided for each of the allowed building types on the following Figures:

- ◆ Figure 5-10: Development Specifications for Commercial Block Building
- ◆ Figure 5-11: Development Specifications for “Main Street” Commercial Block Building
- ◆ Figure 5-12: Development Specifications for Live-Work Loft Building
- ◆ Figure 5-13: Development Specifications for Courtyard Building
- ◆ Figure 5-14: Development Specifications for Rowhouse Building
- ◆ Figure 5-15: Development Specifications for Stacked Flat Building
- ◆ Figure 5-16: Development Specifications for Detached House Building
- ◆ Figure 5-17: Development Specifications for Garage/Accessory Building

On each of the above Figures, there are development specifications that address site design, building mass and height, facade design, and the allowed uses within the building.

EXCEPTIONS

An exception is a permitted exemption to a development specification or design regulation within this Chapter of the Specific Plan. An exception to a development specification on Figures 5-10 through 5-17 may be granted only if the Reviewing Agency approves the following findings for the exception:

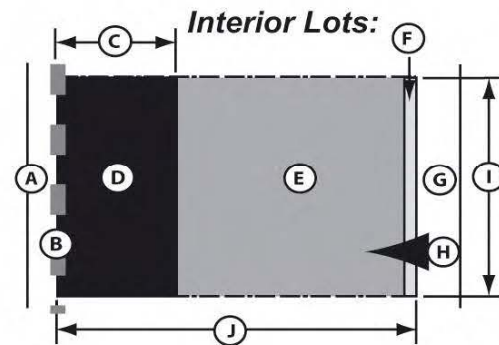
- ◆ Compliance with a development specification would preclude an effective and attractive design solution that fulfills the desired form, function, and character for Downtown Lancaster as specified in the Downtown Specific Plan.
- ◆ The granting of an exception will not constitute a grant of special privilege inconsistent with the limitations upon other properties that are subject to the same development standard or design regulation.
- ◆ The granting of an exception will not be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use.
- ◆ The granting of the exception will not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.

The Reviewing Agency’s determination may be appealed to the Planning Commission as provided in Chapter 6.

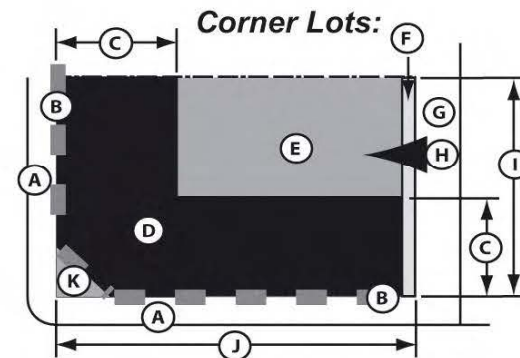
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Site Specifications:

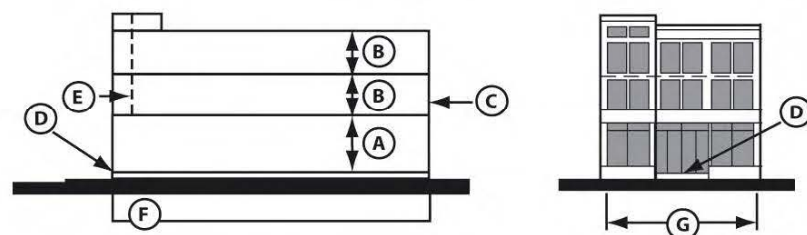


- A: Sidewalk
- B: Build-to-Line (BTL): A building facade shall be built along all property lines (at a 0' setback) that are adjacent to a street. Building entrances, arcades, and upper floor balconies may be recessed into the facade. Up to 50% of the BTL may be setback to create a forecourt, plaza, or covered colonnade.
- C: Minimum building depth of 20' as measured from the BTL.
- D: Building Zone: 100% of this zone shall be occupied by one (or more) building(s).
- E: Rear Multi-Functional Zone: Zone may be occupied by building, rear yard, courtyard, parking lot, and/or loading/unloading zones.
- F: Setback Zone: A 5' rear setback is required if the rear yard is not adjacent to an alley. No other setbacks are required.



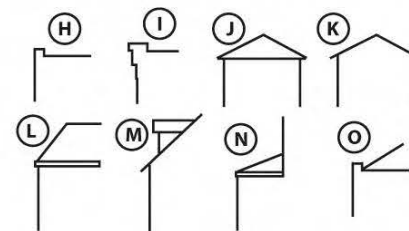
- G: Alley
- H: Access to parking and loading/unloading facilities shall be provided by the alley. A single driveway is permitted if the lot does not have an alley. The maximum width of driveways shall be 20'. The center line of all driveways shall be at least 30' from an intersection.
- I: Minimum Lot Width: 50'. All side yard property lines shall be perpendicular to the street.
- J: Minimum Lot Depth: 100'
- K: Building Corner: The BTL at the building corner adjacent to the intersection may be angled, curved, or recessed, but only if a building entrance is created at the corner.

Mass/Height Specifications:



- A: First Floor Ceiling Height: 12' to 16'.
- B: Upper Floor Ceiling Heights: 8' minimum and up to 80% of the height of first floor ceiling.
- C: Minimum Number of Floors: 2. To determine the maximum number of floors, refer to Figure 5-18: Maximum Building Heights.
- D: At street fronting entrances, the elevation of the ground floor shall be 0 to 24 inches above the adjacent sidewalk.
- E: Stepbacks from the BTL are allowed on the second floor and above.
- F: Multi-level basements are allowed.
- G: Building Width: 16' minimum and 50' maximum. A single building on a lot wider than 50' is permitted if it is designed to look like multiple buildings. Each individual segment of the building shall have a maximum width of 50'.

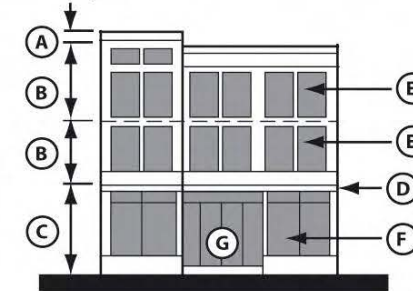
Allowed Roof Forms:



- H: Flat Roof
- I: Flat Roof with Parapet or Cornice
- J: Hip Roof
- K: Gabled Roof
- L: Full Mansard Roof
- M: Dormers
- N: Shed Roof: Only allowed where building stepbacks occur.
- O: Appropriate combinations of the above roof forms

Facade Specifications:

Facade Specifications apply to all facades that front a street, plaza, or courtyard:

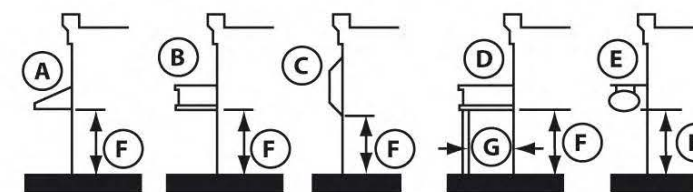


- A: Building Cap or Roof: The top of the facade shall be defined by a cap, such as a cornice or a roof overhang.
- B: Upper Floor Facade
- C: Ground Floor Facade
- D: A horizontal design element is required to differentiate between the ground floor and upper floors. Examples include a cornice line, awning, balcony, or change in the building material.
- E: Upper Floor Window Fenestration: 30% to 95% of each upper floor facade shall be occupied by windows openings. This specification does not apply to upper floors with dormer windows.
- F: First Floor Window Fenestration: 60% to 95% of each first floor facade shall be occupied by transparent windows/doors.
- G: Entry Door: One common entrance to the building is required on the front facade of the building. In addition, private entrances to businesses on the ground floor are also allowed.

Prohibited Facade Elements:

- A. External chimneys, external staircases to upper floors, and garage doors are prohibited on the front facade.

Required and Allowed Projecting Facade Element:



- A: Awnings/Marquees/trellises may project 5' to 6' from the facade.
- B: Balconies/Decks may project up to 6' from the facade.
- C: Bay windows may project up to 2' from the facade.
- D: Colonnades (supporting either a shed roof, balcony, or interior floor space) may project up to 6' from the facade over the sidewalk.
- E: Projecting Signs may project up to 4' from the facade. The area of the sign shall not exceed 10 square feet.
- F: 8' minimum clearance.
- G: 5' minimum clearance (from inside of post/column to facade).

Figure 5-10:
Development Specifications
for Commercial Block Building

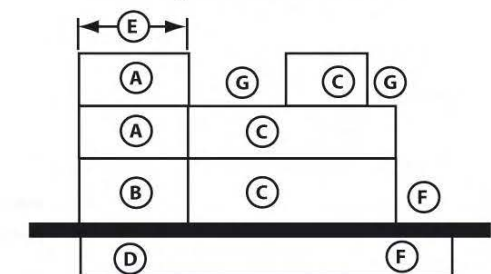
Description:

A building that is designed to contain a mix of uses, including office and residential on upper floors, and office, retail, and service uses on the ground floor. Access to the businesses and residential units are provided from a common entrance and lobby on the ground floor, as well as private entrances to ground floor businesses or uses.

Example Photos:



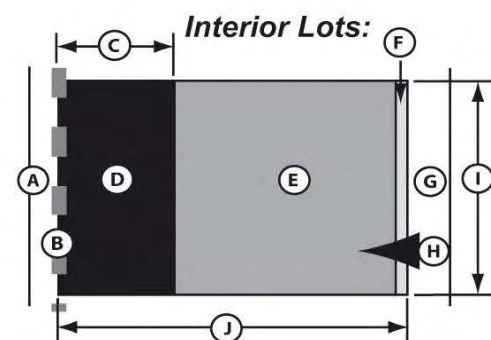
Use Specifications:



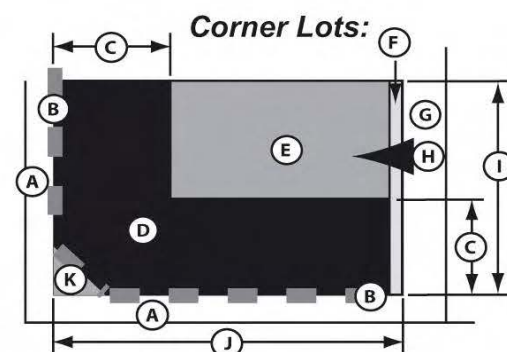
- A: Upper Floor with Street Frontage: All uses as permitted by Table 5-1 are allowed. Structured parking is allowed.
- B: Ground Floor with Street Frontage: All Retail/Service and office uses as permitted by Table 5-1 are allowed. Parking is prohibited.
- C: Floors without Street Frontage: All uses as permitted by Table 5-1 are allowed. Structured parking is allowed.
- D: Basement: Parking and storage for on-site uses are allowed.
- E: Minimum Depth of Street Frontage Uses: 20' as measured from the Build-to-Line.
- F: Utility meters, garbage disposal areas, surface parking lots, and loading and unloading facilities shall be located within the basement or to the rear of the building and shall be screened from public view.
- G: Outdoor dining is allowed on all floors with the approval of an outdoor use permit.

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Site Specifications:

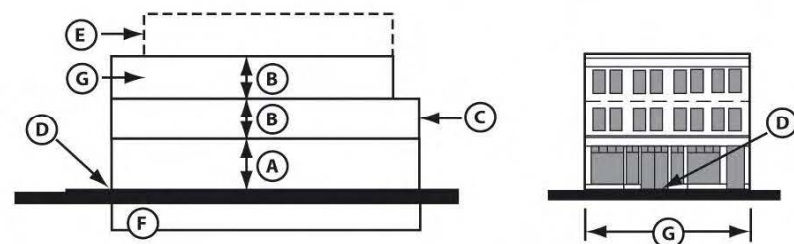


- A: Sidewalk
- B: Build-to-Line (BTL): A building facade shall be built along all property lines (at a 0' setback) that are adjacent to a street. Storefronts, building entrances, and upper floor balconies may be recessed into the facade. Up to 50% of the BTL may be setback to create a forecourt or plaza.
- C: Minimum building depth of 20' as measured from the BTL.
- D: Building Zone: 100% of this zone shall be occupied by one (or more) building(s).
- E: Rear Multi-Functional Zone: Zone may be occupied by building, rear yard, courtyard, parking lot, and/or loading/unloading zones.
- F: Setback Zone: A 5' rear setback is required if the rear yard is not adjacent to an alley. No other setbacks are required.



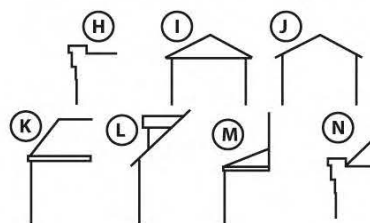
- G: Alley
- H: Access to parking and loading/unloading facilities shall be provided by the alley. A single driveway is permitted if the lot does not have an alley. The maximum width of driveways shall be 20'. The center line of all driveways shall be at least 30' from an intersection.
- I: Minimum Lot Width: 50'. All side yard property lines shall be perpendicular to the street.
- J: Minimum Lot Depth: 100'
- K: Building Corner: The BTL at the building corner adjacent to the intersection may be angled, curved, or recessed, but only if a building entrance is created at the corner.

Mass/Height Specifications:



- A: First Floor Ceiling Height: 14' to 16'.
- B: Upper Floor Ceiling Heights: 8' minimum and up to 80% of the height of first floor ceiling.
- C: Minimum Number of Floors: 2. To determine the maximum number of floors, refer to Figure 5-18: Maximum Building Heights.
- D: At street fronting entrances, the elevation of the ground floor shall be at the grade of the adjacent sidewalk.
- E: Stepbacks from the BTL are allowed on the fourth floor and above.
- F: Multi-level basements are allowed.
- G: Building Width: 16' minimum and 50' maximum. A single building on a lot wider than 50' is permitted if it is designed to look like multiple buildings. Each individual segment of the building shall have a maximum width of 50'.

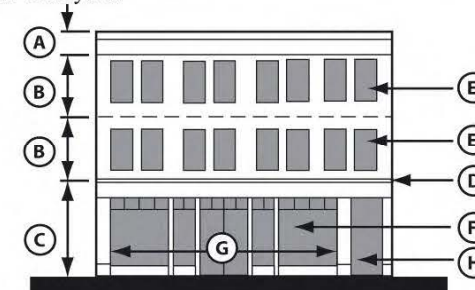
Allowed Roof Forms:



- H: Flat Roof with Parapet or Cornice
- I: Hip Roof
- J: Gabled Roof
- K: Full Mansard Roof
- L: Dormers
- M: Shed Roof: Only allowed where building stepbacks occur.
- N: Appropriate combinations of the above roof forms

Facade Specifications:

Facade Specifications apply to all facades that front a street, plaza, or courtyard:

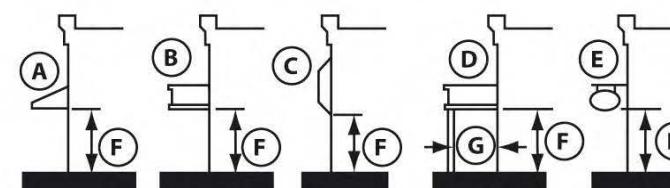


- A: Building Cap or Roof: The top of the facade shall be defined by a cap, such as a cornice or a roof overhang.
- B: Upper Floor Facade
- C: Ground Floor Facade
- D: A horizontal design element is required to differentiate between the ground floor and upper floors. Examples include a cornice line, awning, balcony, or change in the building material.
- E: Upper Floor Window Fenestration: 30% to 60% of each upper floor facade shall be occupied by windows openings. This specification does not apply to upper floors with dormer windows
- F: First Floor Window Fenestration: 60% to 90% of each first floor facade shall be occupied by transparent windows/doors.
- G: Storefronts: The ground floor facade shall be designed with one or more structural bays for storefronts. The maximum width of a bay shall be 24'. At least one storefront and building entrance is required for every ground floor business with street frontage.
- H: Access to upper floor use shall be provided on a street fronting facade.

Prohibited Facade Elements:

- A. External chimneys, external staircases to upper floors, and garage doors are prohibited on the front facade.

Required and Allowed Projecting Facade Element:



- A: Awnings/Marquees may project 5' to 6' from the facade.
- B: Balconies/Decks may project up to 6' from the facade.
- C: Bay windows may project up to 2' from the facade.
- D: Colonnades (supporting either a shed roof or balcony) may project up to 6' from the facade. Supporting posts shall have a diameter or square width ranging from 6" to 12".
- E: Projecting Signs may project up to 4' from the facade. The area of the sign shall not exceed 10 square feet.
- F: 8' minimum clearance.
- G: 5' minimum clearance (from inside of post/column to facade).

Figure 5-11: Development Specifications for "Main Street" Commercial Block Building

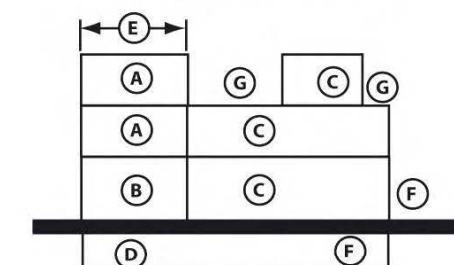
Description:

A building that is designed with ground floor storefronts for retail and service business and upper floor space for office or residential uses. Access to businesses on the ground floor are provided by individual storefront entrances. Access to upper floor uses are provided from a common entrance and small lobby on the ground floor.

Example Photos:



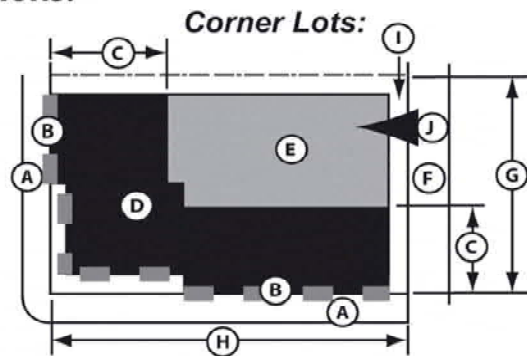
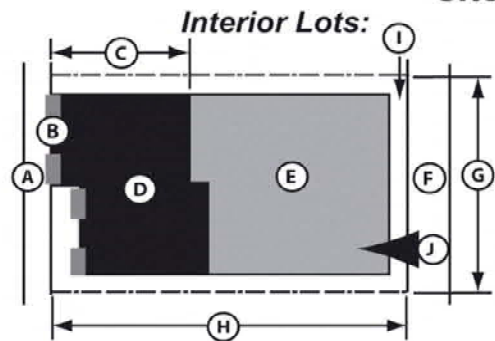
Use Specifications:



- A: Upper Floor with Street Frontage: All uses as permitted by Table 5-1 are allowed. Structured parking is allowed.
- B: Ground Floor with Street Frontage: All Retail/Service Uses as permitted by Table 5-1 are allowed. Parking is prohibited.
- C: Floors without Street Frontage: All uses as permitted by Table 5-1 are allowed. Structured parking is allowed.
- D: Basement: Parking and storage for on-site uses are allowed.
- E: Minimum Depth of Street Frontage Uses: 20' as measured from the Build-to-Line.
- F: Utility meters, garbage disposal areas, surface parking lots, and loading and unloading facilities shall be located within the basement or to the rear of the building and shall be screened from public view.
- G: Outdoor dining is allowed on all floors with the approval of an outdoor use permit.

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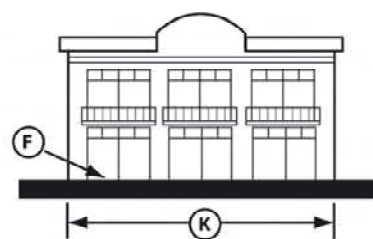
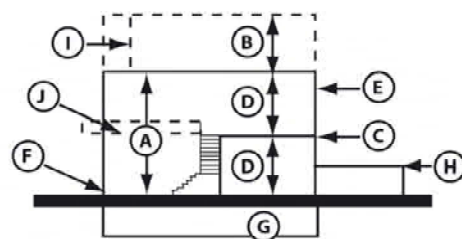
Site Specifications:



- A: Sidewalk
- B: Build-to-Line (BTL): The front facade shall be built anywhere within 0' to 5' of the front property line. Building entrances and upper floor balconies may be recessed into the facade.
- C: Minimum building depth of 20' as measured from the BTL.
- D Building Zone: 100% of this zone shall be occupied by one or more buildings. The width of the zone may decrease in circumstances where side driveways or pedestrian walkways are necessary.
- E: Rear Multi-Functional Zone: Zone may be occupied by an extension of the main building, a detached building with addition live-work lofts, a common courtyard/yard, a parking structure, or surface parking. If live-work units are provided in this zone, pedestrian access from the sidewalk to the units shall be provided.

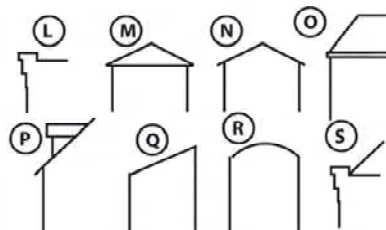
- F: Alley
- G: Lot Width: 50' to 100'. All side yard property lines shall be perpendicular to the street.
- H: Minimum Lot Depth: 80'
- I: Setback Zone: Setbacks from streets and alleys are not required. A 5' setback is required from all other external property lines of the entire development site. The setback zone shall be landscaped. Paved pedestrian walkways are allowed in the setback zone.
- J: Access to parking garages shall be provided by the alley. Where an alley is not present on an interior lot, access to parking garages shall be provided by a one-way driveway located along the side property line. Where an alley is not present on a corner lot, access to parking facilities shall be provided by a driveway from the side street.

Mass/Height Specifications:



- A: Ceiling Height of Ground Floor Loft Unit: 16' to 24'.
- B: Ceiling Heights of Upper Floor Units: 10' to 20'.
- C: Mezzanine Floor: If provided in a loft unit, the Mezzanine floor shall be located to the rear of the unit.
- D: Ceiling Heights above and below the Mezzanine Floor: 8' Minimum.
- E: Minimum Number of Floors: 2. To determine the maximum number of floors, refer to Exhibit 5-18. A mezzanine floor is considered a floor when calculating maximum building height.
- F: At street fronting entrances, the elevation of the ground floor shall be at the grade of the adjacent sidewalk.
- G: Multi-level basements are allowed.
- H: Fences/walls (excluding retaining walls) are prohibited in between front and side facades and streets. Rear and sideyard fences/walls (excluding retaining walls) shall have a maximum height of 72". Fence/wall posts shall be 4" to 6" taller than the fence/wall.
- I: Upper-floor units may be stepped back from the build-to-line.

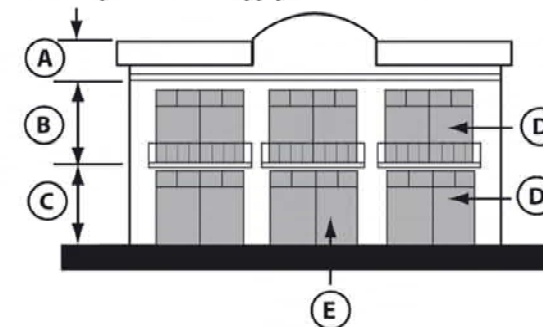
Allowed Roof Forms:



- J: 3' to 4' catwalks from the mezzanine floor to a balcony are allowed.
- K: Building Width: 30' minimum and 90' maximum.
- L: Flat Roof with Parapet or Cornice
- M: Hip Roof
- N: Gabled Roof
- O: Full Mansard Roof
- P: Dormers
- Q: Shed Roof
- R: Barrel Vaulted Roof
- S: Appropriate combinations of the above roof forms

Facade Specifications:

Facade Specifications apply to all facades that front a street:

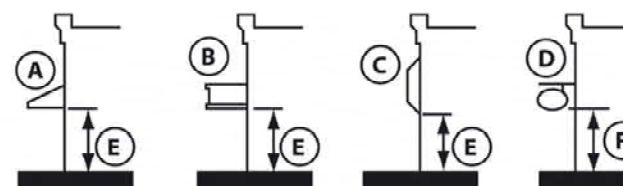


- A: Building Cap or Roof: The top of the facade shall be defined by a cap, such as a cornice or a roof.
- B: Upper Floor Facade
- C: Ground Floor Facade
- D: Ground Floor and Second Floor Window Fenestration: 40% to 80% of each ground floor and upper floor facade that fronts a street shall be occupied by windows openings. This specification does not apply to upper floors with dormer windows.
- E: Entry Door: Each ground floor unit shall have an entry door on the front facade of the building.

Prohibited Facade Elements:

- A: External chimneys and external staircases to upper floors are prohibited on the front facade. Glass roll-up garage doors are allowed.

Required and Allowed Projecting Facade Element:



- A: Awnings/Marquees may project 5' to 6' from the facade.
- B: Balconies/Decks may project up to 6' from the facade.
- C: Bay windows may project up to 2' from the facade.
- D: Projecting Signs may project up to 4' from the facade. The area of the sign shall not exceed 10 square feet.
- E: 8' minimum clearance.

**Figure 5-12:
Development Specifications
for Live Work Lofts**

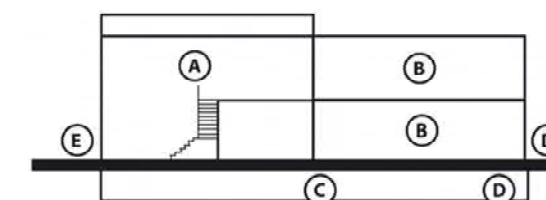
Description:

A building that contains individual loft units that are designed to accommodate both residential living and various work activities.

Example Photos:



Use Specifications:

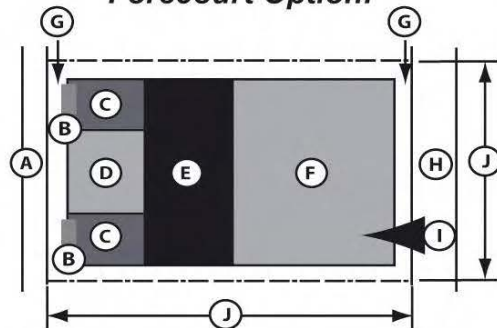


- A: Floors with Street Frontage: Loft Units and Home occupation/Artist Studio/Home Office Uses as permitted by Table 5-1 are allowed. Parking is prohibited.
- B: Floors without Street Frontage: Loft Units and Home occupation/Artist Studio/Home Office Uses as permitted by Table 5-1 are allowed. Parking is allowed.
- C: Basement: Parking and storage for on-site uses are allowed.
- D: Utility meters, garbage disposal areas, surface parking lots, and loading and unloading facilities shall be located within the basement or to the rear or side of the building, and shall be screened from public view.
- E: Front Setback Zone: Parking is prohibited in the front setback zone.

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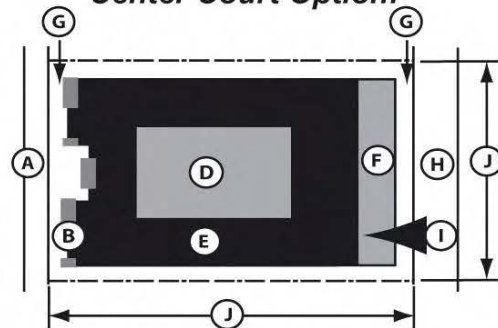
Site Specifications:

Forecourt Option:



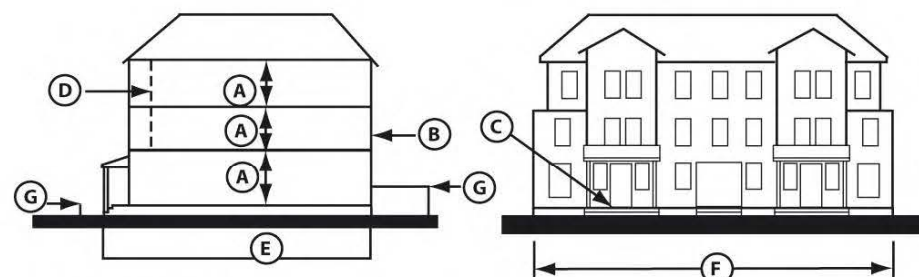
- A: Sidewalk
- B: Build-to-Line (BTL): For buildings with a forecourt, the front facade of the building wings that define the forecourt shall be built anywhere within 5' to 10' of the front property line. For buildings with a center court, the front facade of the entire building shall be built anywhere within 5' to 10' of the front property line. Building entrances, porches, stoops, arcades, and upper floor balconies may be recessed into the facade.
- C: Building Wings: Building wings are required to define the forecourt.
- D: Courtyard Zone: The minimum dimension of a courtyard zone is 15' x 20'. Forecourts shall occur on the first floor of the building. Center courts may occur on any floor of the building.
- E: Building Zone: 100% of this zone shall be occupied by the building. The width of the zone may decrease in circumstances where side driveways are necessary.

Center Court Option:



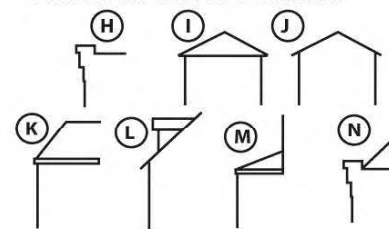
- F: Rear Multi-Functional Zone: Zone may be occupied by building, rear/side yard, courtyard, and/or parking lot.
- G: Setback Zone: A 5' setback is required from all property lines. The setback zone shall be landscaped. Paved pedestrian walkways and side driveways (if necessary) are allowed in the setback zone.
- H: Alley
- I: Access to parking and loading/unloading facilities shall be provided by the alley. Where an alley is not present on an interior lot, access to parking and loading/unloading facilities shall be provided by one-way driveways located along the side property lines. Where an alley is not present on a corner lot, access to parking and loading/unloading facilities shall be provided by a two-way driveway from the side street.
- J: Lot Width: 80' to 125'. All side yard property lines shall be perpendicular to the street.
- K: Minimum Lot Depth: 100'

Mass/Height Specifications:



- A: Ceiling Height: 8' to 12'.
- B: Minimum Number of Floors: 2. To determine the maximum number of floors, refer to Figure 5-18: Maximum Building Heights.
- C: At street fronting entrances, the elevation of the ground floor shall be 0" to 72" above the adjacent sidewalk. The ground floor shall be at least 36" above the adjacent sidewalk if it contains residential units.
- D: Stepbacks from the BTL are allowed on the second floor and above.
- E: Multi-level basements are allowed.
- F: Building Width: 60' minimum and 115' maximum.
- G: Fences/walls that are located in a setback zone between a building facade and street (excluding retaining walls) shall have a maximum height of 36". Rear and sideyard fences/walls (excluding retaining walls) shall have a maximum height of 72". Fence/wall posts shall be 4" to 6" taller than the fence/wall. On corner lots, all sideyard fences/walls adjacent to the side street shall be setback from the sidewalk by at least 5'.

Allowed Roof Forms:



- H: Flat Roof with Parapet or Cornice
- I: Hip Roof
- J: Gabled Roof
- K: Full Mansard Roof
- L: Dormers
- M: Shed Roof: Only allowed where building stepbacks occur.
- N: Appropriate combinations of the above roof forms

Facade Specifications:

Facade Specifications apply to all facades that front a street and/or the on-site courtyard:

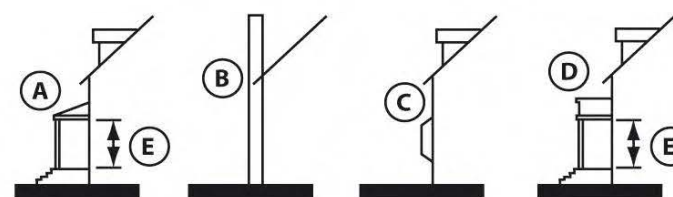


- A: Building Cap or Roof: The top of the facade shall be defined by a cap, such as a cornice or a roof overhang.
- B: Upper Floor Facade
- C: Ground Floor Facade
- D: Ground Floor and Second Floor Window Fenestration: 15% to 50% of each ground floor and upper floor facade that fronts a street, park, plaza, or on-site courtyard shall be occupied by windows openings. This specification does not apply to upper floors with dormer windows.
- E: Courtyard Access: Pedestrian access to the courtyard shall be provided from the street.
- F: Entry doors to private units are allowed on facades that front a street or the on-site courtyard.

Prohibited Facade Elements:

- A: External chimneys, external staircases to upper floors, and garage doors are prohibited on the front facade.

Required and Allowed Projecting Facade Element:



- A: A front porch or stoop is required for all building entrances fronting a street. Front porches/stoops may extend up to 6' into the front setback zone.
- B: External chimneys may extend up to 2' from side and rear facades and may extend into the side and rear yard setback zone.
- C: Bay windows may project up to 2' from any facade and may extend into the setback zone and courtyard zone.
- D: Projecting balconies/decks may extend up to 5' into the front setback zone. Projecting balconies may extend up to two feet from facades that define the on-site courtyard.
- E: 8' minimum clearance.

**Figure 5-13:
Development Specifications
for Courtyard Buildings**

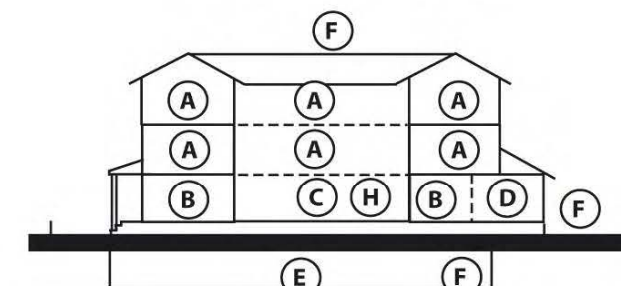
Description:

A building that is designed to define or enclose a common courtyard. The building may contain a variety of uses. Access to the uses is provided from the courtyard or ground floor lobby. Access to ground floor uses may also occur directly from private entrances along street fronting facades.

Example Photos:



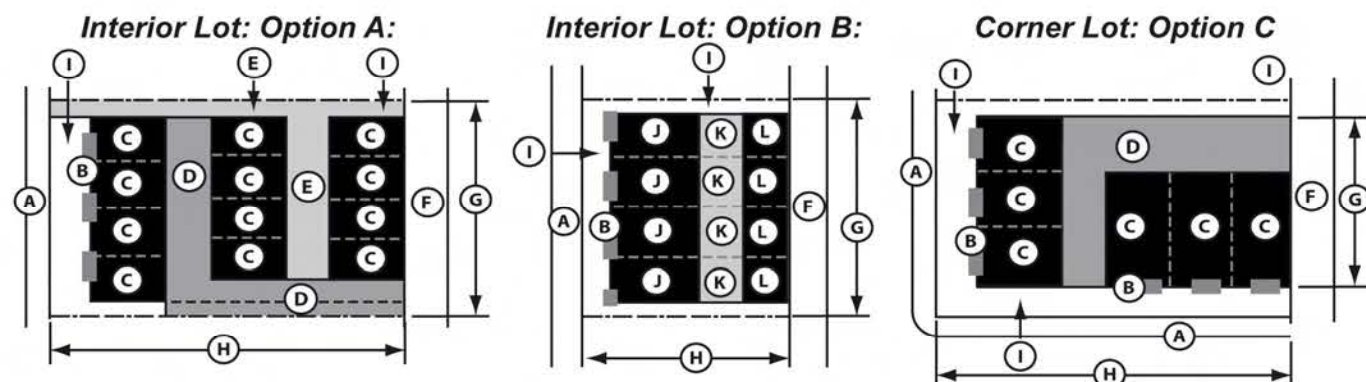
Use Specifications:



- A: Upper Floors: All uses as permitted by Table 5-1 are allowed. Parking is prohibited.
- B: Ground Floor with Street/Courtyard Frontage: All uses as permitted by Table 5-1 are allowed. Parking is prohibited.
- C: Courtyard
- D: Ground Floor without Street/Courtyard Frontage: All uses as permitted by Table 5-1 are allowed. Parking is permitted.
- E: Basement: Parking and storage for on-site uses are allowed.
- F: Utility meters, garbage disposal areas, surface parking lots, and loading and unloading facilities shall be located within the basement or to the rear of the building, and shall be screened from public view.
- G: Front Yard: Parking is prohibited in the front yard.
- H: Outdoor dining is allowed on balconies and courtyards with the approval of an outdoor use permit.

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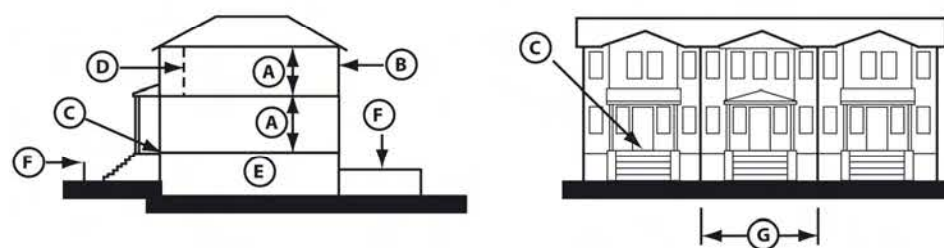
Site Specifications:



- A: Sidewalk
- B: Build-to-Line (BTL): The front facade of rowhouses that are built along the street shall be anywhere within 8' to 12' of the property line adjacent to the street. Building entrances, porches, stoops, arcades, and upper floor balconies may be recessed into the facade.
- C: Rowhouse unit with tuck-under parking. Parking shall be accessed from the rear alley.
- D: New Alley System: Minimum width of 26'.
- E: Pedestrian access from the sidewalk to the interior units on the site shall be required.
- F: Existing Alley. If the property is not served by an existing alley, then a new alley system shall be provided that connects to the street.
- G: Minimum Lot Width: 60'.
- H: Minimum Lot Depth: Option A and C: 150'. Option B: 80'.
- I: Setback Zone: An 8' setback is required from all streets. No setbacks are required from alleys. A 5' setback is required from all other external property lines of the external development site.
- J: Rowhouse Unit (without attached parking)
- K: Rear Yard: The rear yard shall be at least 10' deep.
- L: Rear Multifunctional Zone: Zone may be occupied by covered parking spaces or an accessory building/garage. All parking shall be accessed by the rear alley.

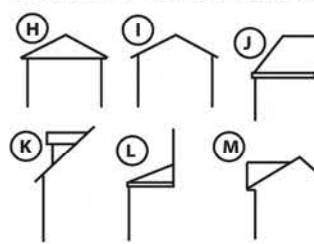
Additional Notes:
 On Option A, the units within the interior of the lot could be configured in a horizontal (rather than vertical) direction. Options A, B, and C may be combined on an appropriately sized development site.

Mass/Height Specifications:



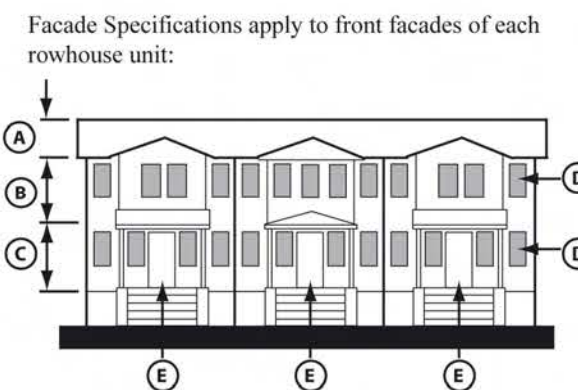
- A: Ceiling Height: 8' to 12'.
- B: Minimum Number of Floors: 2. To determine the maximum number of floors, refer to Figure 5-18 : Maximum Building Heights.
- C: At street fronting entrances, the elevation of the ground floor shall be 36" to 72" above the adjacent sidewalk.
- D: Stepbacks from the BTL are allowed on the second floor and above.
- E: Basement/Garage: The basement/garage does not count as a floor when calculating maximum building height.
- F: Fences/walls that are located in a setback zone between a building facade and street (excluding retaining walls) shall have a maximum height of 36". Rear and sideyard fences/walls (excluding retaining walls) shall have a maximum height of 72". Fence/wall posts shall be 4" to 6" taller than the fence/wall. On corner lots, all sideyard fences/walls adjacent to the side street shall be setback from the sidewalk by at least 5'.

Allowed Roof Forms:



- G: Unit Width: 14' minimum and 30' maximum.
- H: Hip Roof
- I: Gabled Roof
- J: Full Mansard Roof
- K: Dormers
- L: Shed Roof: Only allowed where building stepbacks occur.
- M: Appropriate combinations of the above roof forms

Facade Specifications:



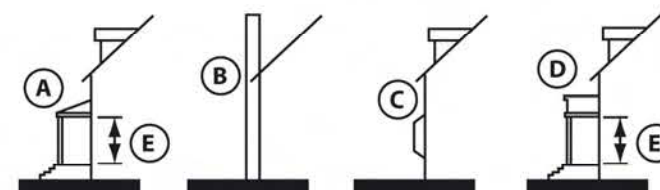
- A: Roof: The top of each unit facade shall be defined by a roof.
- B: Upper Floor Facade
- C: Ground Floor Facade
- D: Ground Floor and Upper Floor Window Fenestration: 15% to 50% of each ground floor and upper floor facade that fronts a street shall be occupied by windows. This specification does not apply to upper floors with dormer windows.
- E: Entry Door: Each unit shall have an entry door on the front facade of the building.

Additional Notes:
 Each units shall be differentiated from adjacent units by having a different design, different materials, or different color applications.

Prohibited Facade Elements:

- A: External chimneys, external staircases to upper floors, and garage doors are prohibited on front facades.

Required and Allowed Projecting Facade Element:



- A: A front porch or stoop is required for all building entrances fronting a street. Front porches/stoops may extend up to 6' into the front setback zone.
- B: External chimneys may extend up to 2' from side and rear facades and may extend into the side and rear yard setback zone.
- C: Bay windows may project up to 2' from any facade and may extend into the setback zone. They are not allowed to project over an alley.
- D: Projecting balconies/decks may extend up to 6' into the front setback zone.
- E: 8' minimum clearance.

**Figure 5-14:
 Development Specifications
 for Rowhouse Buildings**

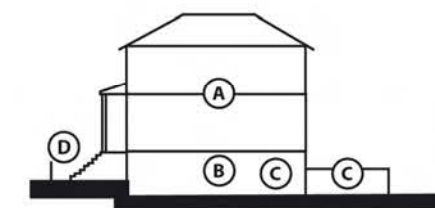
Description:

A building that consists of a series of residential homes, often with a similar width and height, situated side by side and joined by common walls.

Example Photos:



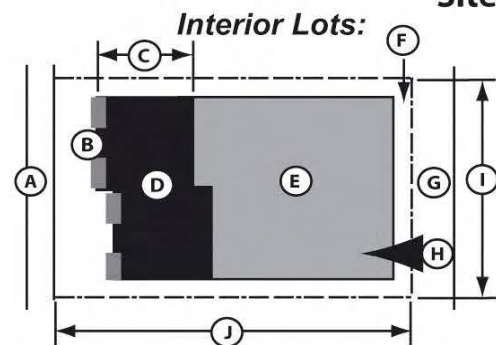
Use Specifications:



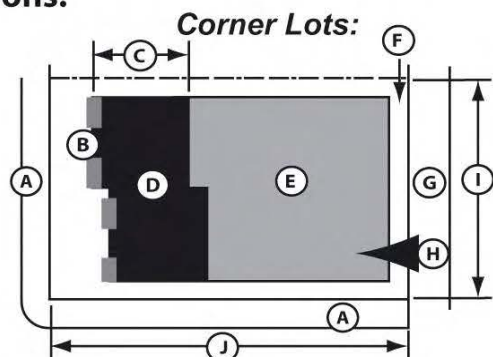
- A: Ground floor and Upper Floors: Residential Condominium and Apartment Uses as permitted by Table 5-1 are allowed. One residential dwelling per individual rowhouse unit is allowed. Parking is prohibited.
- B: Basement/Garage: Storage and/or parking for the above unit is allowed.
- C: Utility meters and garbage disposal areas shall be located within the basement/garage or to the rear of the building and shall be screened from public view.
- D: Front Yard: Parking is prohibited in the front yard.

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Site Specifications:

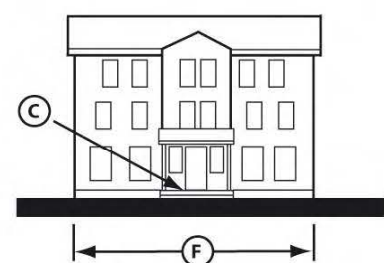
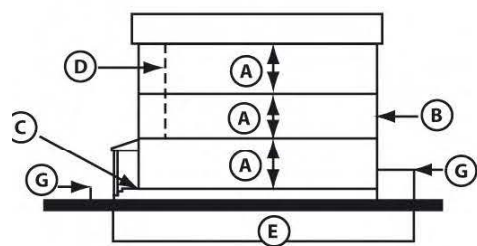


- A: Sidewalk
- B: Build-to-Line (BTL): The front facade shall be built anywhere within 5' to 15' of the front property line. Building entrances, porches, stoops, arcades, and upper floor balconies may be recessed into the facade.
- C: Minimum building depth of 20' as measured from the BTL.
- D Building Zone: 100% of this zone shall be occupied by the building. The width of the zone may decrease in circumstances where side driveways are necessary.
- E: Rear Multi-Functional Zone: Zone may be occupied by an extension of the main building, a garage/accessory building, a rear/side yard, a courtyard, parking lot, and/or loading/unloading zones.
- F: Setback Zone: A 5' setback is required from all property lines. The setback zone shall be landscaped. Paved pedestrian walkways and side driveways (if necessary) are allowed in the setback zone.



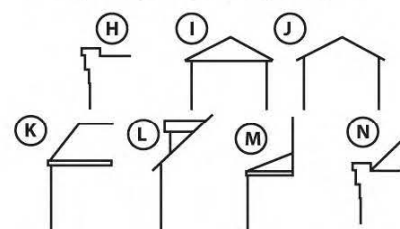
- G: Alley
- H: Access to parking and loading/unloading facilities shall be provided by the alley. Where an alley is not present on an interior lot, access to parking and loading/unloading facilities shall be provided by one-way driveways located along the side property lines. The driveways shall be 7' to 8' wide. Each side of the one-way driveway shall be flanked with a 3' wide planter strip. Where an alley is not present on a corner lot, access to parking and loading/unloading facilities shall be provided by a two-way driveway from the side street.
- I: Lot Width: 60 to 100'. All side yard property lines shall be perpendicular to the street.
- J: Minimum Lot Depth: 100'

Mass/Height Specifications:



- A: Ceiling Height: 8' to 12'.
- B: Minimum Number of Floors: 2. To determine the maximum number of floors, refer to Figure 5-18: Maximum Building Heights.
- C: At street fronting entrances, the elevation of the ground floor shall be 0" to 72" above the adjacent sidewalk. The ground floor shall be at least 36" above the adjacent sidewalk if it contains residential units.
- D: Stepbacks from the BTL are allowed on the second floor and above.
- E: Multi-level basements are allowed.
- F: Building Width: 40' minimum and 90' maximum.
- G: Fences/walls that are located in a setback zone between a building facade and street (excluding retaining walls) shall have a maximum height of 36". Rear and sideyard fences/walls (excluding retaining walls) shall have a maximum height of 72". Fence/wall posts shall be 4" to 6" taller than the fence/wall. On corner lots, all sideyard fences/walls adjacent to the side street shall be setback from the sidewalk by at least 5'.

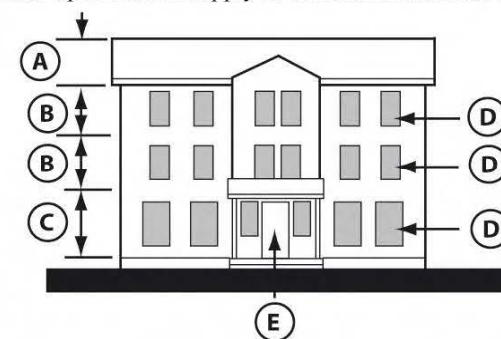
Allowed Roof Forms:



- H: Flat Roof with Parapet or Cornice
- I: Hip Roof
- J: Gabled Roof
- K: Full Mansard Roof
- L: Dormers
- M: Shed Roof: Only allowed where building stepbacks occur.
- N: Appropriate combinations of the above roof forms

Facade Specifications:

Facade Specifications apply to all facades that front a street:

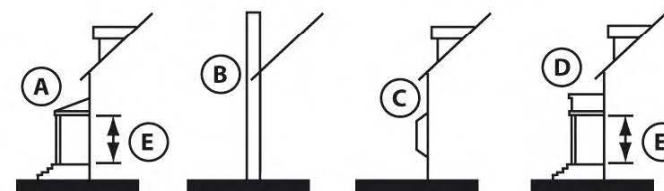


- A: Building Cap or Roof: The top of the facade shall be defined by a cap, such as a cornice or a roof overhang.
- B: Upper Floor Facade
- C: Ground Floor Facade
- D: Ground Floor and Second Floor Window Fenestration: 15% to 50% of each ground floor and upper floor facade that fronts a street, park, plaza, or on-site courtyard shall be occupied by windows. This specification does not apply to upper floors with dormer windows.
- E: Entry Door: One common entrance to the building is required on the front facade of the building. In addition, private entrances to businesses and residential uses on the ground floor are also allowed.

Prohibited Facade Elements:

- A: External chimneys, external staircases, and garage doors are prohibited on the front facade.

Allowed Projecting Facade Element:



- A: A front porch, stoop, or portico is required for all building entrances fronting a street. Front porches/stoops may extend up to 6' into the front setback zone.
- B: External chimneys may extend up to 2' from side and rear facades and may extend into the side and rear yard setback zone.
- C: Bay windows may project up to 2' from any facade and may extend into the setback zone.
- D: Projecting balconies/decks may extend from the front and rear facade. Projecting balconies/decks may extend up to 6' into the front setback zone.
- E: 8' minimum clearance.

**Figure 5-15:
Development Specifications
for Stacked Flat Building**

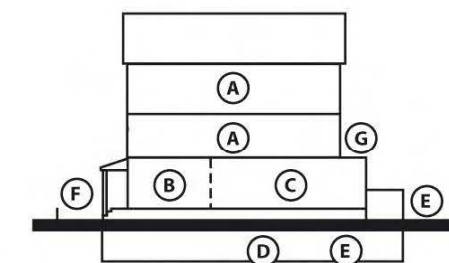
Description:

A building containing stacked floors that are divided into private spaces for businesses or residential units. Access to the businesses or residential units are provided from a common entrance and lobby on the ground floor.

Example Photos:



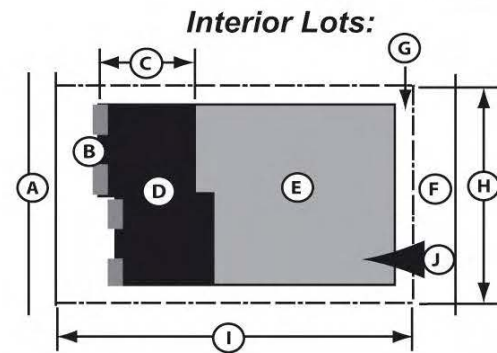
Use Specifications:



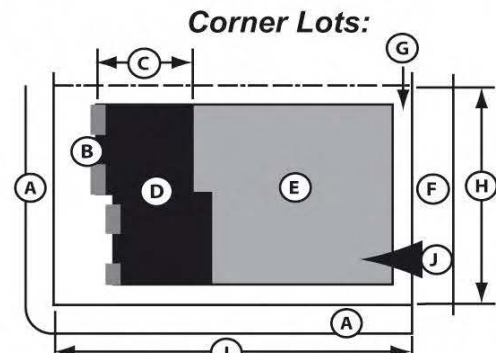
- A: Upper Floors: All uses as permitted by Table 5-1 are allowed. Parking is prohibited.
- B: Ground Floor with Street: All uses as permitted by Table 5-1 are allowed. Parking is prohibited. Residential units are only allowed on the ground floor if the floor is elevated at least 36" from the sidewalk.
- C: Ground Floor without Street Frontage: All uses as permitted by Table 5-1. Parking is permitted.
- D: Basement: Parking and storage for on-site uses are allowed.
- E: Utility meters, garbage disposal areas, surface parking lots, and loading and unloading facilities shall be located within the basement or to the rear or side of the building, and shall be screened from public view.
- F: Front Yard: Parking is prohibited in the front yard.
- G: Outdoor dining is allowed on balconies and courtyards with the approval of an outdoor use permit.

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Site Specifications:

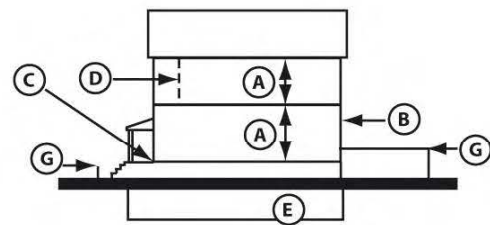


- A: Sidewalk
- B: Build-to-Line (BTL): The front facade shall be built anywhere within 15' to 25' of the front property line. The building entrance may be recessed into the facade.
- C: Minimum building depth of 20' as measured from the BTL.
- D: Building Zone: 100% of this zone shall be occupied by the building. The width of the zone may decrease in circumstances where side driveways are necessary. Garages are prohibited in this zone.
- E: Rear Multi-Functional Zone: Zone may be occupied by an extension of the main building, a detached garage/accessory building, or a rear/side yard. At least 50% of the zone shall be occupied by a yard.
- F: Alley

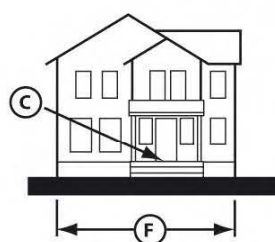


- G: Setback Zone: a 15' setback is required from the front property line. A 5' setback is required from all other property lines. The setback zone shall be landscaped. Paved pedestrian walkways are allowed in the setback zone.
- H: Lot Width: 35' to 60'. All side yard property lines shall be perpendicular to the street.
- I: Minimum Lot Depth: 100'
- J: Access to parking garages shall be provided by the alley. Where an alley is not present on an interior lot, access to parking garages shall be provided by a one-way driveway located along the side property line. Where an alley is not present on a corner lot, access to parking facilities shall be provided by a driveway from the side street.

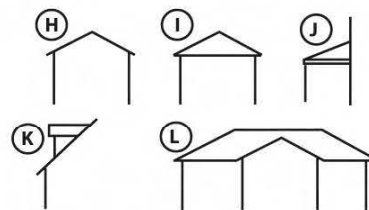
Mass/Height Specifications:



- A: Ceiling Height: 8' to 12'.
- B: Minimum Number of Floors: 1. To determine the maximum number of floors, refer to Figure 5-18: Maximum Building Heights.
- C: At street fronting entrances, the elevation of the ground floor shall be 36" to 72" above the adjacent sidewalk.
- D: Stepbacks from the BTL are allowed on the second floor and above.
- E: A basements is allowed.
- F: Building Width: 20' minimum and 50' maximum.
- G: Fences/walls that are located in a setback zone between a building facade and street (excluding retaining walls) shall have a maximum height of 36". Rear and sideyard fences/walls (excluding retaining walls) shall have a maximum height of 72". Fence/wall posts shall be 4" to 6" taller than the fence/wall. On corner lots, all sideyard fences/walls adjacent to the side street shall be setback from the sidewalk by at least 5'.



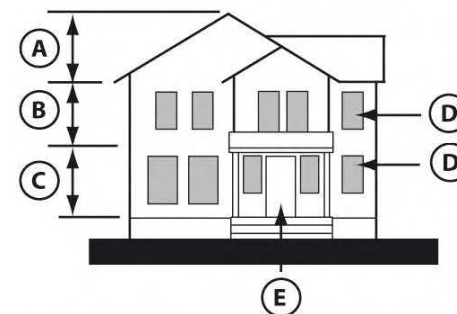
Allowed Roof Forms:



- H: Gabled Roof
- I: Hip Roof
- J: Shed Roof: Only allowed where building stepbacks occur.
- K: Dormers
- L: Appropriate combinations of the above roof forms

Facade Specifications:

Facade Specifications apply to all facades that front a street:

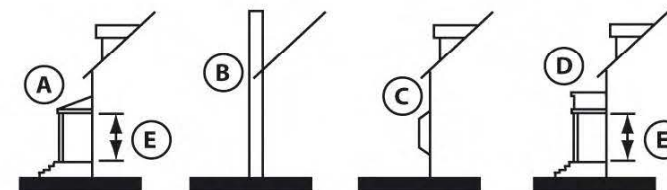


- A: Building Cap or Roof: The top of the facade shall be defined by a cap, such as a cornice or a roof overhang.
- B: Upper Floor Facade
- C: Ground Floor Facade
- D: Ground Floor and Second Floor Window Fenestration: 15% to 50% of each ground floor and upper floor facade that fronts a street shall be occupied by windows. This specification does not apply to upper floors with dormer windows.
- E: Entry Door: At least one common entrance to the building is required on the front facade of the building.

Prohibited Facade Elements:

- A. External chimneys, external staircases to upper floors, and garage doors are prohibited on the front facade.

Required and Allowed Projecting Facade Element:



- A: A front porch or stoop is required for all building entrances fronting a street. Front porches/stoops may extend up to 8' into the front setback zone. On corner lots, the front porch may wrap around to the side facade along the street corner.
- B: External chimneys may extend up to 2' from side and rear facades and may extend into the side and rear yard setback zone.
- C: Bay windows may project up to 2' from any facade and may extend into the setback zone.
- D: Projecting balconies/decks may extend from the front and rear facade. Projecting balconies and decks may extend up to 8' into the front setback zone.
- E: 8' minimum clearance.

Figure 5-16: Development Specifications for Detached House Building

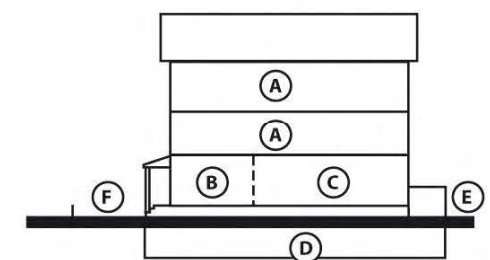
Description:

A detached building that is surrounded by a front, side, and rear yard. Detached houses are typically designed as single family dwellings. In Downtown Lancaster, they may be designed for single family and multifamily dwellings and office uses.

Example Photos:



Use Specifications:

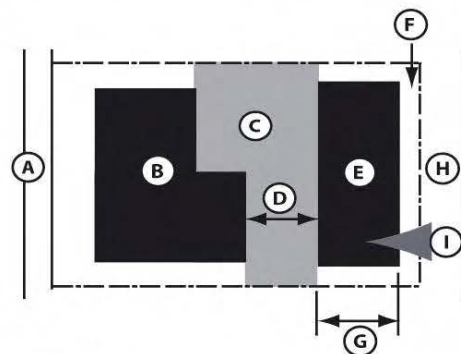


- A: Upper Floors: Residential or Office Uses as permitted by Table 5-1 are allowed. Parking is prohibited.
- B: Ground Floor with Street Frontage: Residential Uses as permitted by Table 5-1 are allowed. Parking is prohibited.
- C: Ground Floor without Street Frontage: All uses as permitted by Table 5-1. Parking is permitted.
- D: Basement: Parking and storage for on-site uses are allowed.
- E: Utility meters, garbage disposal areas, surface parking lots, and loading and unloading facilities shall be located within the basement or to the rear or side of the building, and shall be screened from public view.
- F: Front Yard: Parking is prohibited in the front yard.

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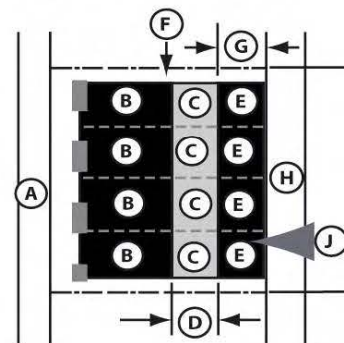
Site Specifications:

Detached House/Stacked Flat Lots:



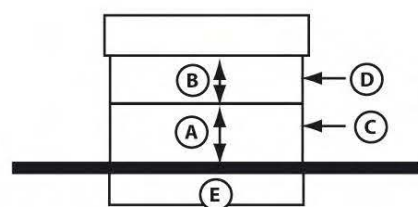
- A: Sidewalk
- B: Detached House, Stacked Flat, or Rowhouse Building.
- C: Rear Yard
- D: At least 10' shall be provided between the detached garage/accessory building and other buildings on the site.
- E: Building Zone: The Detached Garage/Accessory Unit may be located anywhere within this zone. 100% of the zone may be occupied by the building.
- F: Setback Zone: The setbacks of the primary building type on the lot (Detached House, Stacked Flat, or Rowhouse) shall apply to Detached Garages/Accessory Buildings.
- G: The maximum depth of the building zone shall be 30'.
- H: Alley

Rowhouse Lots:

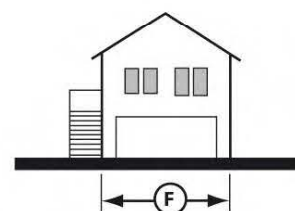


- I: Access to detached garages on Detached House and Stacked Flat lots shall be provided by the alley. Where an alley is not present on an interior lot, access to parking garage shall be provided by a one-way driveway located along the side property line. Where an alley is not present on a corner lot, access to parking facilities shall be provided by a driveway from the side street.
- J: Access to detached garages on Rowhouse lots shall be provided by the rear alley.

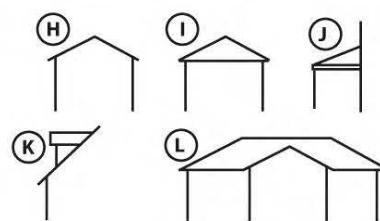
Mass/Height Specifications:



- A: Ground floor Ceiling Height: 8' to 12'.
- B: Upper Floor Ceiling Height: 8' to 9'.
- C: Minimum Number of Floors: 1.
- D: Maximum number of Floors: 2
- E: A basements is allowed.
- F: Building Width: The maximum building width shall be determined by the width of the lot minus the side setback requirements.

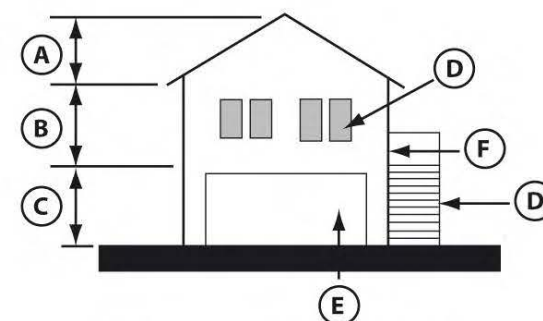


Allowed Roof Forms:



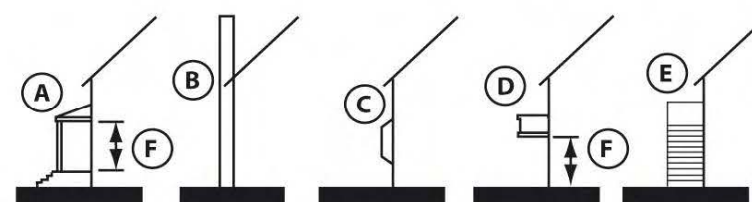
- H: Gabled Roof
- I: Hip Roof
- J: Shed Roof: Only allowed where building setbacks occur.
- K: Dormers
- L: Appropriate combinations of the above roof forms

Facade Specifications:



- A: Building Cap or Roof: The top of the facade shall be defined by a roof.
- B: Upper Floor Facade
- C: Ground Floor Facade
- D: Upper Floor Windows: If the building is served by a rear alley, at least 15% of the rear upper floor facade shall consist of window openings to provide informal surveillance of the street.
- E: Garage Door
- F: Entry Door: Pedestrian access to uses within the building (other than the garage) may be provided directly from the alley and/or from the rear or side yard.
- G: Stairs to upper floor.

Allowed Projecting Facade Element:



- A: A porch or stoop is allowed on any facade. Porches or stoops may extend into the rear yard, but not into the setback zone.
- B: An external chimney may extend up to 2' from side and rear facades and may extend into the side and rear yard setback zone.
- C: Bay windows may project up to 2' from any facade and may extend into the rear yard or the setback zone. They are not allowed to extend over a rear alley.
- D: A projecting balcony/deck may extend 6' from any facade. Projecting balconies may extend into the rear yard, but not into the setback zone.
- E: External stairway to the upper floors are allowed on any facade. They may not occur in the Setback Zone
- F: 8' minimum clearance.

**Figure 5-17:
Development Specifications
for Garage/Accessory Building**

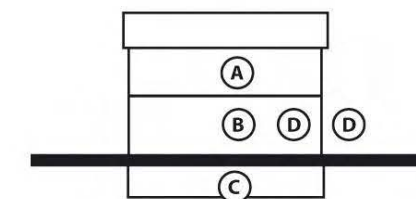
Description:

A detached building that is located behind a detached house, rowhouse, or stacked flat building. These building may contain a garage, work, home office or studio, or secondary dwelling unit.

Example Photos:



Use Specifications:



- A: Upper Floor: Apartments, condominiums, studio and Home occupation/Artist Studio/Home Office Uses as permitted by Table 5-1 are allowed. Parking is prohibited.
- B: Ground Floor: Apartments, condominiums, studio and Home occupation/Artist Studio/Home Office Uses as permitted by Table 5-1 are allowed. Parking is allowed.
- C: Basement: Storage for on-site uses are allowed.
- D: Utility meters and garbage disposal areas shall be located within the garage or to the rear or side of the building, and shall be screened from public view.

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5.5 MAXIMUM BUILDING HEIGHTS

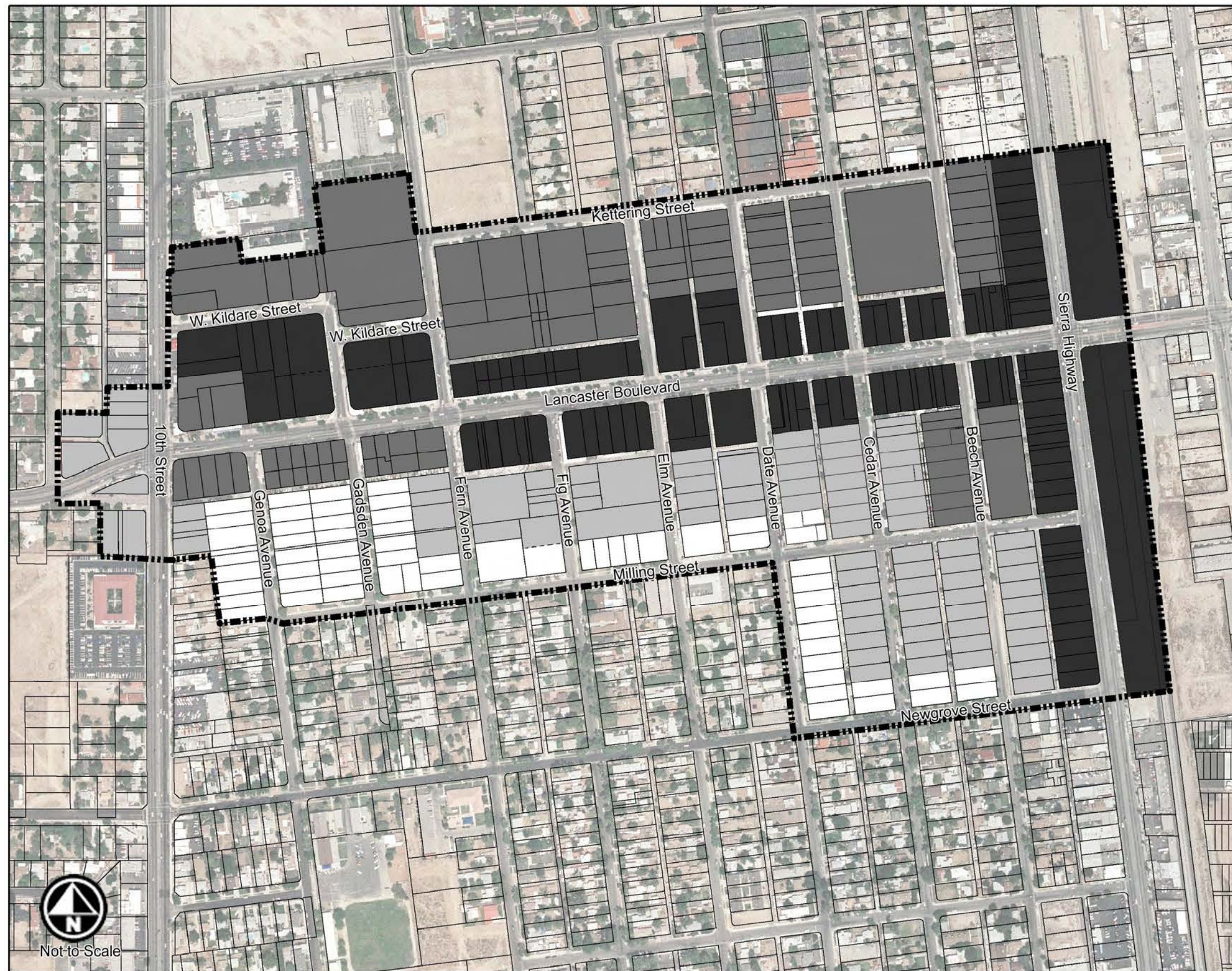
In Downtown Lancaster, building heights are measured by the number of floors within the building rather than the total number of feet between the ground and the top of the roof. Figure 5-18 shall be used to determine the maximum number of floors (excluding basements and sub- or partially sub-grade parking levels) allowed on each property within Downtown Lancaster.

Roof gardens, solar collector systems, and appurtenances are allowed on the roofs of buildings within Downtown Lancaster. An elevator shaft and stairwell providing access to a public or private roof garden is also allowed to exceed the maximum number of floors allowed on the property.

CHAPTER 5

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Downtown Lancaster Specific Plan
Figure 5-18: Maximum Building Heights

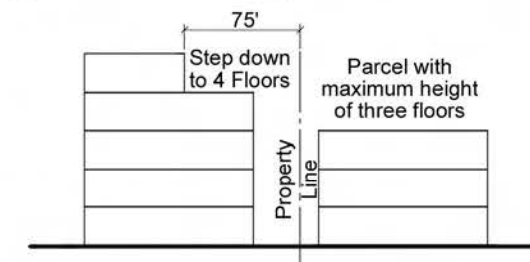


MAXIMUM HEIGHTS:

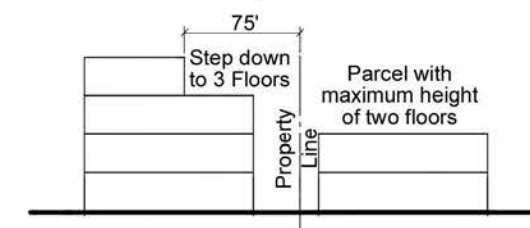
- Five Floors***
- Four Floors***
- Three Floors**
- Two Floors**

***Notes**

Any portion of a five-floor building that is within 75 horizontal feet of a parcel with a maximum height of three floors shall be stepped down to a height of four floors:



Any portion of a four-floor building that is within 75 horizontal feet of a parcel with a maximum height of two floors shall be stepped down to height of three floors.



Not to Scale

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5.6 DESIGN REGULATIONS AND GUIDELINES

This section contains design regulations and design guidelines for all new development projects within Downtown Lancaster. In general, development projects must comply with all applicable design regulations, as they define the minimum or baseline standards for urban design. Design guidelines further define the desired character and image of development in Downtown Lancaster. Development projects are not necessarily required to comply with all applicable design guidelines. Their intent is to further describe desired character and image for development within Downtown Lancaster. A development project that does not comply with all of the applicable design guidelines may be approved based on the discretion of the Planning Commission or City Council. Nonetheless, compliance with the design guidelines is encouraged.

EXCEPTIONS

An exception is a permitted exemption to a development specification or design regulation within this Chapter of the Specific Plan. An exception to a Design Regulation may be granted only if the Reviewing Agency approves the following findings for the exception:

- ◆ Compliance with a design regulation would preclude an effective and attractive design solution that fulfills the desired form, function, and character for Downtown Lancaster as specified in the Downtown Specific Plan.
- ◆ The granting of an exception will not constitute a grant of special privilege inconsistent with the limitations upon other properties that are subject to the same development standard or design regulation.
- ◆ The granting of an exception will not be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use.
- ◆ The granting of the exception will not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.

The Reviewing Agency's determination may be appealed to the Planning Commission as provided in Chapter 6.

ORGANIZATION

The Design Regulations and Design Guidelines are organized as follows:

- | | |
|--|--|
| A. All Building Facades | K. Front Porches/Stoops |
| B. Commercial Block Building Facades | L. Commercial Signs |
| C. "Main Street" Commercial Block Building Facades | M. Service Areas |
| D. Live-Work Loft Building Facades | N. Mechanical Equipment |
| E. Other Building Facades | O. Landscaping |
| F. Roofs | P. Fences, Walls, and Gates |
| G. Awnings and Marquees | Q. Site Lighting |
| H. Balconies | R. Plazas, Pedestrian Walkways, and Courtyards |
| I. Colonnades | S. Parking |
| J. Bay Windows | |

Throughout this section, Design Regulations are denoted with a solid blue box and "DR." Design Guidelines are denoted with a white box and a "DG."

CHAPTER 5

A. ALL BUILDING FACADES

The Design Regulations and Design Guidelines in this section apply to all buildings within Downtown Lancaster.

DESIGN REGULATIONS

DR.A-1

All side and rear facades shall be designed with similar architectural elements, materials, and colors as the front facade. However, the design of side and rear facades may be simpler, more casual, and more utilitarian in nature.



Appropriate relationship between front facade (left), side facade (above right) and rear facades (below right).

DR.A-2

Additions to buildings shall be designed with a style, materials, colors, and details that are compatible with the existing structure.

DR.A-3

Brick and stone materials that are used on street-fronting facades shall be required to wrap around the corner to apply to at least five linear feet of the side facade. This is required to minimize a veneer appearance and to give the appearance that the materials have a structural function.

DR.A-4

If used, brick and stone veneer shall be mortared to give the appearance that they have a structural function.

Original Structure:



Prohibited Addition to Structure:



Allowed Addition to Structure:



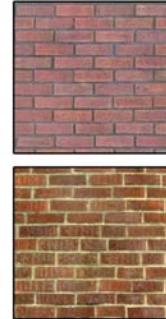
DR.A-5

Bricks shall have a horizontal orientation to give the appearance that they have structural strength. Bricks placed in a diagonal arrangement shall be avoided.

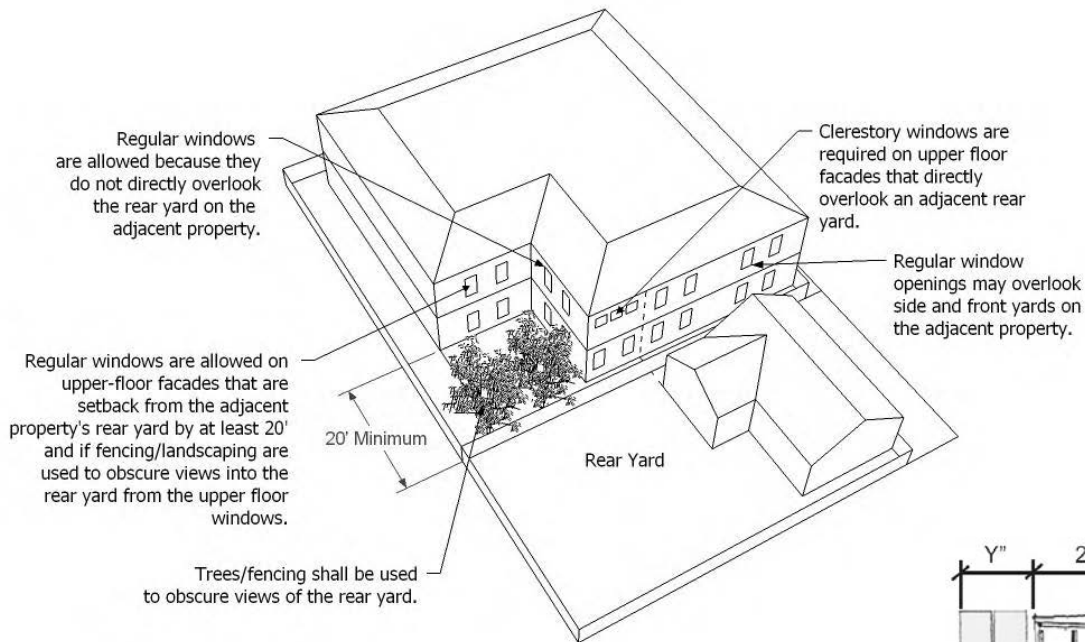
DR.A-6

The upper floors of side and rear facades that directly overlook a rear yard on a neighboring lot (a lot with a shared property line) shall be designed with clerestory window openings. This regulation is required to help preserve the privacy of the adjacent rear yard. Regular window openings are allowed on these upper floor facades if the facade is setback from the property line of the adjacent yard by at least 20 horizontal feet and if mature trees, fencing, and landscaping are used to obscure views into the rear yard.

Appropriate Use of Brick:

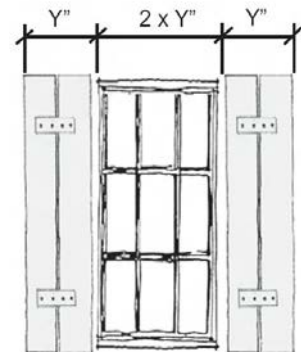


Inappropriate Use of Brick (TO BE PROHIBITED):



DR.A-7

If used, window and door shutters shall have a width that would enclose the entire window or door opening when the shutters are closed.



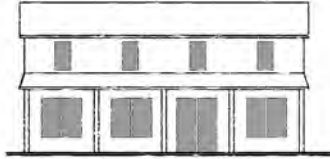
When closed, shutters would enclose the entire window

CHAPTER 5

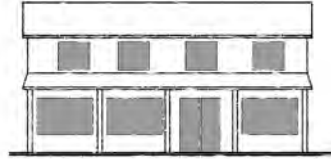
DESIGN GUIDELINES

DG.A-1

Window openings should have a vertical orientation and proportion. If the window opening has a square or horizontal orientation, windows and windowpanes should have a vertical orientation.



Windows have a vertical orientation and proportion (Encouraged)



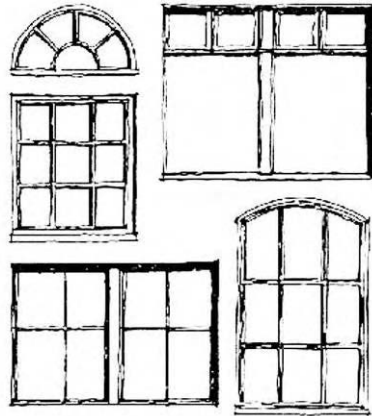
Windows have a horizontal orientation and proportion (Discouraged)

DG.A-2

Windows should be recessed into the wall surface to help articulate the façade and to create interesting shadow patterns.

DG.A-3

Basic and simple window shapes are encouraged.



DG.A-4

Windows that open and close should be used to encourage natural ventilation of the building and less dependence on energy to ventilate, heat, and cool the structure.

DG.A-5

Limit the number of building materials used on a facade. As a general rule, use no more than two different materials (excluding glass windows) on a single facade.

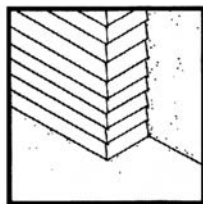
DG.A-6

Materials should be complementary to one another and appropriate for the architectural style or theme of the building.

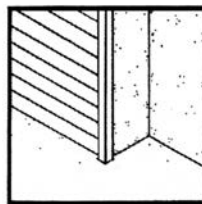
DG.A-7

Changes in material should generally occur when there is a change in the plane of the facade. If possible, the change in material should occur on inside corners of the building. If a change is proposed along the line of a single plane, a pronounced expansion joint should be used to define a clear separation.

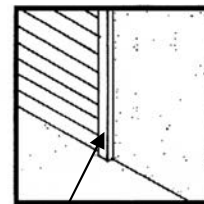
Preferred



Discouraged



Allowed if there is a pronounced expansion joint



Expansion Joint

DG.A-8

Inappropriate building materials that should be discouraged on facades include:

- ◆ Plywood
- ◆ Hardboard
- ◆ Unfinished lumber
- ◆ Corrugated fiberglass siding
- ◆ Aluminum siding
- ◆ Corrugated sheet metal or tin siding
- ◆ Textured T-11 siding

CHAPTER 5

DG.A-9

The natural colors of brick and stone material should be maintained. These materials should not be painted or glazed.

DG.A-10

Muted and soft colors are encouraged. Extensively bold, bright, fluorescent, and neon colors should be avoided. If used, extensively bold, bright, fluorescent, and neon colors should only be used as accent colors on window and door frames, building trim, and details.

DG.A-11

Color applications on a façade should generally be limited to one or two main colors and two to three accent colors that compliment the main color(s) of the structure.

DG.A-12

Painted building surfaces should have a matte finish. Trim work may have a glossy finish.

Examples of Inappropriate use of color on buildings:



Examples of appropriate use of color on buildings:



B. COMMERCIAL BLOCK BUILDING FACADES

DESIGN REGULATIONS

DR.B-1

Street facing building facades, as well as all facades that front a plaza or courtyard shall be articulated to improve the quality of the design. Appropriate methods of articulation include, but are not limited to, the following:

- ◆ Changing the direction of the wall or façade.
- ◆ Stepping back an upper floor facade
- ◆ Increasing the number and/or size of window openings.
- ◆ Altering the height of the building or roofline.
- ◆ Breaking up large smooth surfaces with expansion joints, expression lines, reveals, or changes in texture and color.
- ◆ Dividing large window openings by using smaller window panes.
- ◆ Providing projecting trellises or canopies over window openings.
- ◆ Adding depth and detail to the cornice or roof parapet.
- ◆ Recessing entrances and windows into the façade to create depth and cast shadow patterns.

Examples of appropriately articulated facades:



Examples of poorly articulated facades
(TO BE PROHIBITED):



CHAPTER 5

DR.B-2

The primary building entrance shall be a prominent feature on the façade and shall be easy to identify. It shall be distinguishable and more prominent than secondary or private entrances to businesses or uses on the first floor. Appropriate methods to distinguish the primary entrance include, but are not limited to, the following:

- ◆ Providing a unique building element, such as a tower or change in the roofline, above the primary building entrance.
- ◆ Recessing the facade at the primary entrance to create an attractive forecourt.
- ◆ Accenting the entrance with unique architectural elements, such as columns, a marquee, projecting trellises, or unique lighting features.



Example of Appropriately Designed Parking Structure Facades:

DR.B-3

Structured parking is prohibited on portions of the ground floor that front a street, plaza, or courtyard. Structured parking is allowed on portions of upper floors that front streets, plazas, and courtyards, but only if the facade is designed to comply with the following standards:

- ◆ The façade shall maintain a horizontal line. Sloping ramps on street fronting facades are prohibited.
- ◆ Facades shall be designed with regularly spaced window openings. Metal frames should be used to articulate the openings and to provide vertical orientation within the openings.
- ◆ The façades shall be designed with compatible materials, colors, details, architectural elements, and textures as the ground floor façade.



Examples of Inappropriate Parking Structure Facades. These facades clearly read as parking structures, and therefore would be prohibited:



DESIGN GUIDELINES

DG.B-1

Building facades should be designed with a clear base, such as a projection of the wall surface or the use of a different material or color treatment.

DG.B-2

Highly reflective surfaces and mirror glass should be avoided on facades.

DG.B-3

Building materials should be durable and able to withstand long-term exposure to sun and rain. Materials that require high maintenance are discouraged.

DG.B-4

A combination of traditional and contemporary building materials should be used on commercial block building facades. Appropriate materials include:

- ◆ Stone or marble
- ◆ Brick (in an unglazed finish)
- ◆ Poured in place concrete
- ◆ Concrete Block
- ◆ Fiber cement
- ◆ Ceramic tiles (as an accent material)
- ◆ Metal posts, frames, trellises, and canopies
- ◆ Aluminum, copper, and steel framed windows and doors

Examples of appropriate use of building materials:



CHAPTER 5

DG.B-5

Materials that should be avoided on commercial block building facades include conventional wood siding, wood shingles and wood shakes.

DG.B-6

For a facade that fronts a street, plaza, or courtyard, at least 75% of the facade's width should contain projecting elements that create shade for pedestrians, such as awnings/marqueses, arcades, trellises, or projecting second floor balconies.

Examples of Projecting Elements that create shade for pedestrians:



C. "MAIN STREET" COMMERCIAL BLOCK BUILDING FACADES

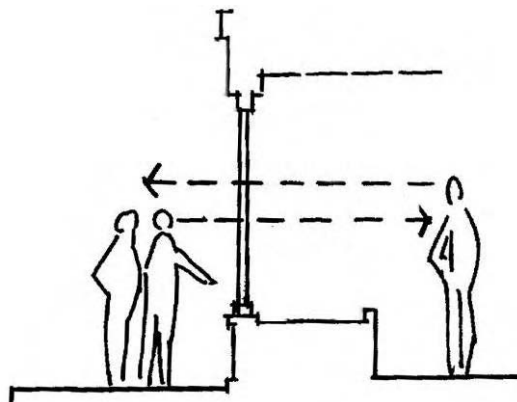
DESIGN REGULATIONS

DR.C-1

Front building facades, as well as all facades that front a plaza, or courtyard, shall be designed with:

- ◆ Ground floor storefronts that utilize clear transparent glass in order to provide clear views of storefront displays from the street, and/or to allow natural surveillance of the street and adjacent outdoor spaces. Mirror and tinted glass is prohibited.
- ◆ Upper floor window openings that have a vertical orientation and proportion. Mirror and tinted glass is prohibited on upper floor facades.
- ◆ A clear building base, such as a projection of the wall surface and the use of a different material or color treatment.

Example of a storefront:



Transparent windows and doors provide clear views of storefront displays and natural surveillance of the street and adjacent public spaces

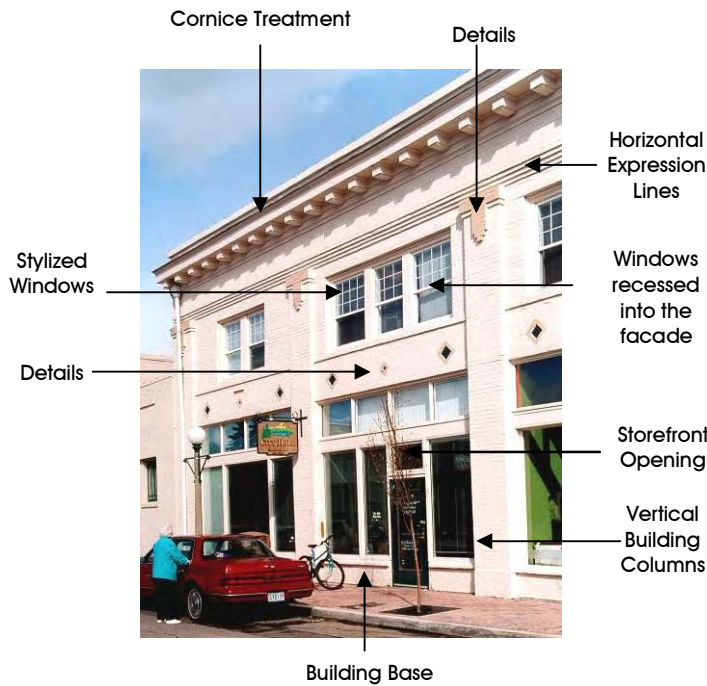
Mirror and tinted glass is prohibited on facades:



DR.C-2

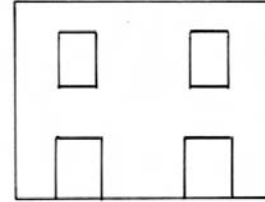
Street facing building facades, as well as all facades that front a plaza or courtyard, shall be articulated to improve the quality of the design. Appropriate methods of articulation include, but are not limited to, the following:

- ◆ Increasing the number and/or size of window openings.
- ◆ Providing stylized windows and doors.
- ◆ Creating a defined base for the building.
- ◆ Providing three-dimensional expression lines (vertical and horizontal) between the floors of the structure and around storefronts and window openings.
- ◆ Adding depth and detail to the cornice or roof parapet.
- ◆ Recessing storefronts and windows into the façade to create depth and cast shadow patterns.

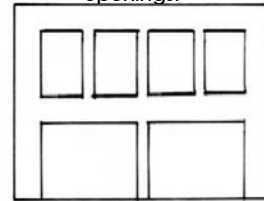


Building facades shall be appropriately articulated:

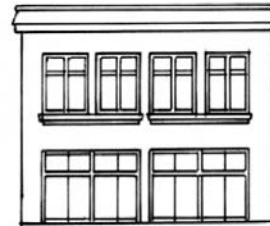
Unarticulated



Façade articulation is improved by increasing the number and size of window openings:



Façade articulation is improved by adding a defined building cap or roofline with depth and detail, and by adding stylized windows and doors:

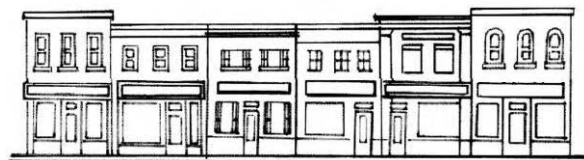


Façade articulation is improved by providing a building base and three-dimensional horizontal and vertical expression lines:



DR.C-3

The ground floor façade shall have more area dedicated to transparent window and door openings than the upper floors.



Appropriate relationship between window openings on ground floor and upper floors

DR.C-4

Structured parking is prohibited on portions of the ground floor that front a street, plaza, or courtyard. Structured parking is allowed on portions of upper floors that front streets, plazas, and courtyards, but only if the facade is designed to comply with the following standards:

- ◆ The façade shall maintain a horizontal line. Sloping ramps on street fronting facades are prohibited.
- ◆ Facades shall be designed with regularly spaced window openings. Metal frames should be used to articulate the openings and to provide vertical orientation within the openings. 30 to 60% of each facade shall consist of openings.
- ◆ The façades shall be designed with compatible materials, colors, details, architectural elements, and textures as the ground floor façade.

Examples of Appropriately Designed Parking Structure Facades:



Examples of Inappropriate Parking Structure Facades. These facades clearly read as parking structures, and therefore would be prohibited.



CHAPTER 5

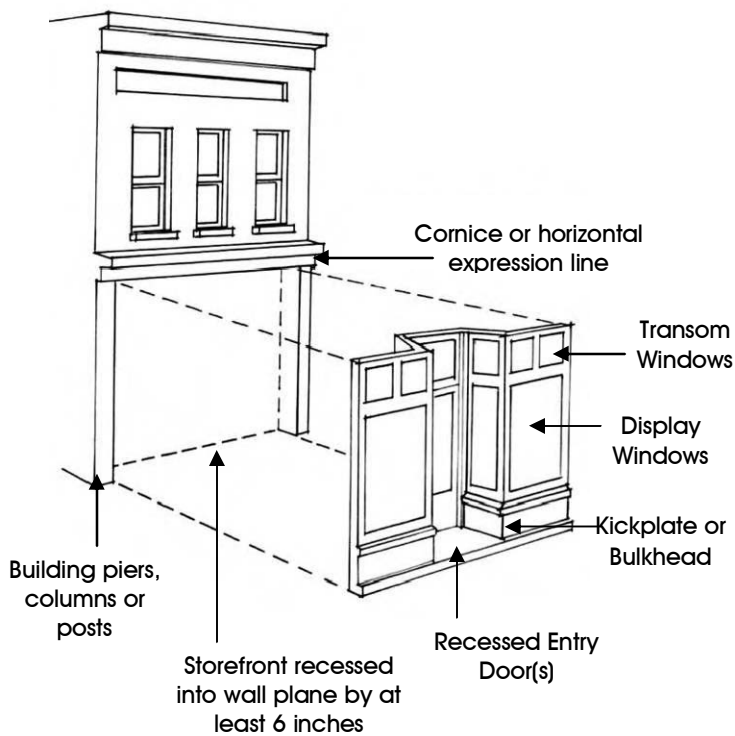
DESIGN GUIDELINES

DG.C-1

Elements of traditional “Main Street” storefronts are encouraged. These elements include the recessed entry door(s), display windows, the kickplate or bulkhead, transom windows, and a cornice defining the top of the storefront.

DG.C-2

Storefronts should be recessed into the wall plane by at least 6 inches and should be framed by building piers or columns and a cornice or horizontal expression line.

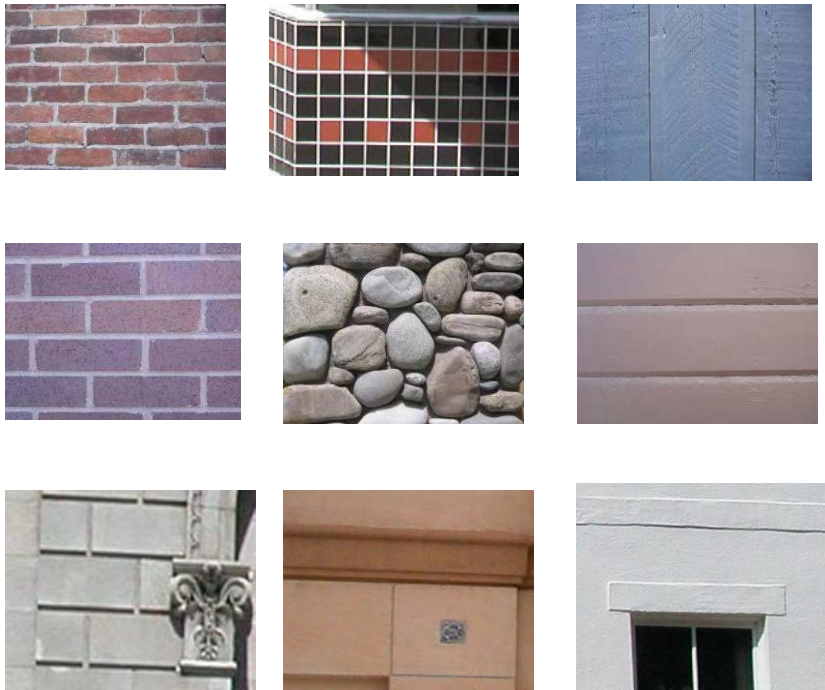


DG.C-3

Traditional building materials should be used on “Main Street” Commercial Building Facades. Appropriate materials include:

- ◆ Brick (in an unglazed finish and earth tone)
- ◆ Rock and Stone
- ◆ Poured in place concrete
- ◆ Concrete block
- ◆ Fiber cement
- ◆ Ceramic tiles (as a secondary material)
- ◆ Wrought iron (in storefronts)
- ◆ Wood, aluminum, copper, steel, and vinyl clad frames for windows and door
- ◆ Plaster or stucco
- ◆ Painted or stained lap horizontal siding and vertical board and batten wood siding
- ◆ Finished and painted wood trim

Examples of appropriate building materials on facades:



CHAPTER 5

DG.C-4

For a facade that fronts a street, plaza, or courtyard, at least 75% of the facade's width should contain projecting elements that create shade for pedestrians, such as awnings/marquees, or projecting second floor balconies, and colonnades.

Projecting façade elements are required for shade:

Balcony



Awning and Marquee



Colonnade/Arcade



Awning



D. LIVE-WORK LOFT BUILDING FACADES

DESIGN REGULATIONS

DR.D-1

Building facades that front a street shall be designed with:

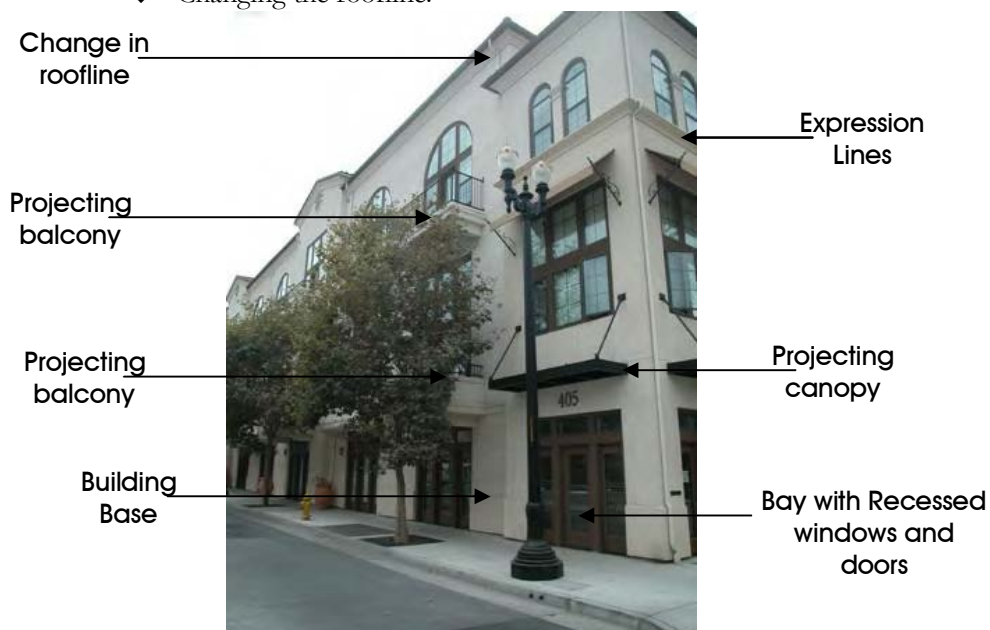
- ◆ Building bays for window and doors.
- ◆ A clear building base, such as a projection of the wall surface and the use of a different material or color treatment.
- ◆ Transparent window openings that allow views into the lofts.

DR.D-2

Street facing building facades shall be articulated to improve the quality of the design. Appropriate methods of articulation include, but are not limited to, the following:

- ◆ Providing stylized windows and doors.
- ◆ Providing three-dimensional expression lines (vertical and horizontal) between the floors of the structure and window openings.
- ◆ Adding depth and detail to the cornice or roof parapet.
- ◆ Recessing windows into the façade to create depth and cast shadow patterns.
- ◆ Applying projecting elements, such as balconies, canopies and awnings.
- ◆ Changing the roofline.

Examples of appropriately designed facades on lofts:



CHAPTER 5

DESIGN GUIDELINES

DG.D-1

Facades that have a warehouse or industrial style should be avoided.

DG.D-2

Metal balconies are strongly encouraged on facades.

DG.D-3

Appropriate materials that are encouraged on live-work loft building facades include:

- ◆ Brick (in an unglazed finish and earth tone)
- ◆ Poured in place concrete
- ◆ Concrete block
- ◆ Fiber cement
- ◆ Ceramic tiles (as a secondary material)
- ◆ Wood, aluminum, copper, steel, and vinyl clad frames for windows and door
- ◆ Plaster or stucco

Examples of appropriate building materials on facades:



DG.D-4

The following materials should be avoided on live-work loft facades:

- ◆ Metal Siding
- ◆ Wood siding
- ◆ Painted or stained lap horizontal siding and vertical board and batten wood siding

E. OTHER BUILDING FACADES

The Design Regulations and Design Guidelines in this section apply to the facades on the following building types:

- ◆ Courtyard Buildings
- ◆ Stacked Flat Buildings
- ◆ Rowhouses
- ◆ Detached Houses
- ◆ Garages/Accessory Buildings

DESIGN REGULATIONS

DR.E-1

Facades that front a street or on-site courtyard shall be articulated to improve the quality of the design. Appropriate methods of articulation include:

- ◆ Changing the direction of the wall plane by adding a building wing.
- ◆ Increasing the number of window openings on the facade.
- ◆ Balancing the window openings on the facade to avoid large blank walls surfaces.
- ◆ Using more than one material, texture, or color to break up the mass of the facade.
- ◆ Stepping back upper stories.
- ◆ Adding projecting facade elements, such as a porch, bay windows, or balconies.
- ◆ Utilizing appropriate architectural details.
- ◆ Providing overhanging roof eaves that create depth and cast shadows.
- ◆ Providing horizontal expression lines to break up large wall surfaces.

The pictures on the following pages illustrate examples of appropriately articulated facades.

CHAPTER 5

Examples of appropriately designed facades on Courtyard Buildings:



Examples of appropriately designed facades on Stacked Flat Buildings:



Examples of appropriately designed facades on Rowhouses:



Examples of appropriately designed facades on Detached Houses:



DR.E-2

The facades of detached garages/accessory buildings shall be designed with similar materials, colors, and details as the primary building on the site.

DESIGN GUIDELINES

DG.E-1

Traditional building materials should be used on facades. Appropriate materials include:

- ◆ Brick (in an unglazed finish and earth tone)
- ◆ Painted or stained lap horizontal siding and vertical board and batten wood siding
- ◆ Poured in place concrete
- ◆ Fiber cement
- ◆ Finished and painted wood trim
- ◆ Wood, aluminum, copper, steel, and vinyl clad wood frames for windows and doors
- ◆ Wood doors. Door with window opening are encouraged.
- ◆ Plaster or stucco
- ◆ Natural stone or river rock (at building bases and columns)

Examples of appropriate building materials on facades:



CHAPTER 5

F. ROOFS

DESIGN REGULATIONS

DR.F-1

Roofing forms, slopes, details, and materials shall be compatible with the overall style and character of the structure.

DR.F-2

A compatible roof design (in terms of overhangs, pitch, fascia, materials, and eaves) shall be provided on all sides of the structure.

DR.F-3

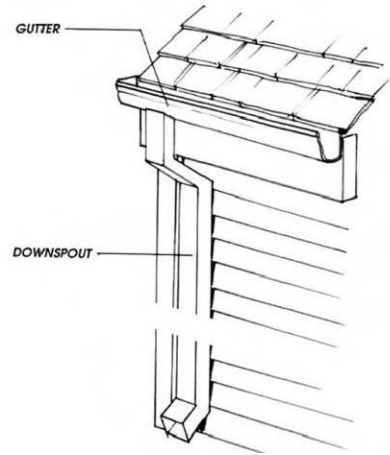
All roofs shall be designed with gutters and downspouts to prevent water damage and stains on building facades and to protect pedestrians from dripping water. Gutters shall drain directly into a cistern, landscaped area, or on- or off-site storm drain system.

DR.F-4

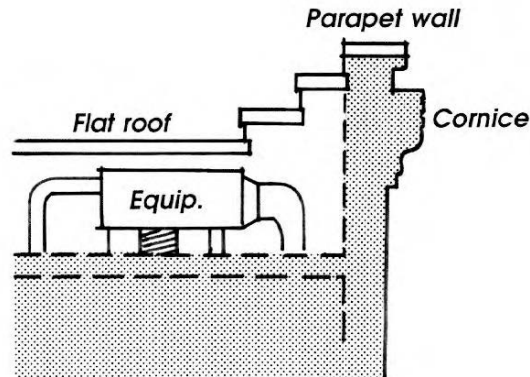
Roof overhangs may extend out from the facade of the building. However, roof overhangs shall not extend over a neighboring parcel or more than three feet over a public sidewalk (unless it covers a balcony that projects more than three feet over the sidewalk).

DR.F-5

Mechanical equipment on roofs shall be screened from public views from all sidewalks, plazas, courtyards, public spaces, and pedestrian walkways.



Roof-top Equipment shall be screened from public views



Roof top Screening

DESIGN GUIDELINES

DG.F-1

Roof overhangs should extend at least 16 inches from the façade. Deeper overhangs are encouraged where needed to provide shade on walls and windows.

DG.F-2

Appropriate types of roof materials that are encouraged on buildings include:

- ◆ Asphalt shingles
- ◆ Slate shingles
- ◆ Fiber cement shingles
- ◆ Clay or concrete tile roofs
- ◆ Composite roofing materials made of recycled natural fiber and recycled plastic
- ◆ Tar, gravel, composition, or elastomeric roof materials shall only be allowed on flat roofs that are concealed by a parapet or cornice feature.

DG.F-3

Gutters and downspouts should be painted to match either the trim or body color of the structure.

DG.F-4

Vent pipes that are visible from streets, sidewalks, plazas, courtyards, and pedestrian walkways should be painted to match the color of the roof to make them less conspicuous.

DG.F-5

Whenever possible, downspouts should be located in the least conspicuous location, such as side and rear facades of the building.

Examples of appropriate roofing materials:



CHAPTER 5

G. AWNINGS, TRELLISES, AND MARQUEES

DESIGN REGULATIONS

DR.G-1

The following standards apply to projecting awnings, trellises, and marquees:

- ◆ The valance (or front face) of an awning shall not exceed 18 inches in height
- ◆ Awnings, trellises, and marquees shall not obscure views into storefront display windows or cover piers, columns, pilasters, clerestory windows, architectural expression lines or details.
- ◆ Awnings and marquees may have signs (see Section L: Commercial Signs).
- ◆ Awnings, trellises, and marquees shall be designed with materials, shapes, and colors that are compatible with the style and materials of the façade.

DESIGN GUIDELINES:

DG.G-1

On buildings with storefronts or structural bays for windows and doors, multiple awnings or marquees located above the storefront or structural bay are encouraged rather than a single awning or marquee that covers the entire facade.

DG.G-2

All awnings on a building should have a consistent size, shape, and placement pattern. However, awnings on a building may have different colors and patterns to represent the different businesses in the building.

DG.G-3

Awnings should have basic and simple color patterns, such as one solid color or a vertical striping pattern with two colors.

DG.G-4

The height of the awning should be approximately 1/3rd to 2/3rds the depth of the awning.

DG.A-

Colorful canvas and fabric awnings are encouraged and preferable to permanent awnings made of glass, plastic, or metal. Backlit awnings are discouraged.



Multiple awnings are located within the structural bays of storefronts (Encouraged):



Single awning overlapping the structural bays of storefronts (Discouraged):



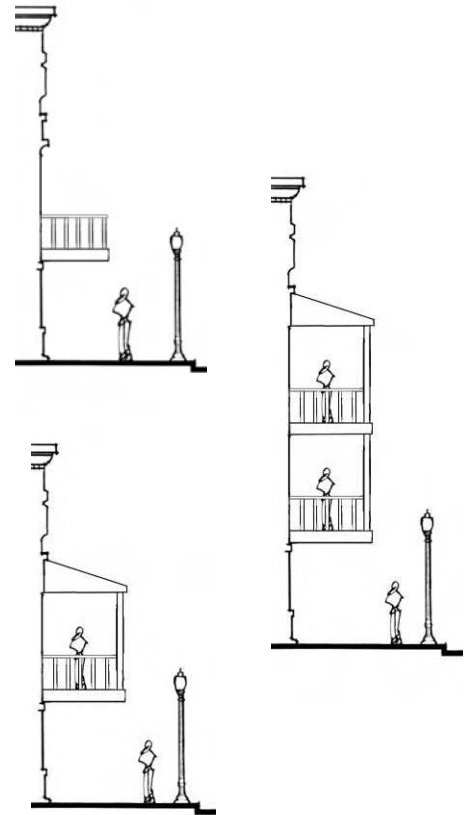
H. BALCONIES

DESIGN REGULATIONS

DR.A-

The following standards apply to projecting balconies:

- ◆ Balconies may be open or covered with a roof or upper story balcony.
- ◆ Balconies shall be designed with materials, colors, and details that are compatible with the style of the building and the materials used on the facade. The balcony shall not have a tacked-on appearance or look like it was an addition or afterthought.
- ◆ The distance between roof-supporting columns, piers, or posts on balconies shall not exceed their height.



CHAPTER 5

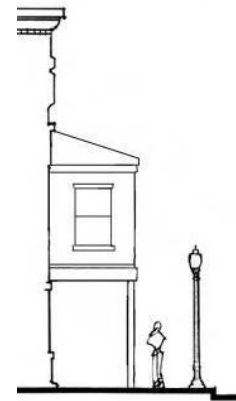
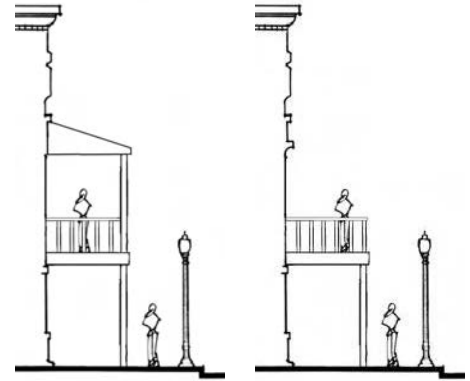
I. COLONNADES/ARCADES

DESIGN REGULATIONS

DR.I-1

The following standards apply to projecting colonnades:

- ◆ An arcade may be covered with a roof or a balcony. An enclosed habitable space may occur above an arcade on a Commercial Block Building.
- ◆ Supporting columns, piers, or posts shall be spaced and sized so that they do not block views of storefront windows from the street.
- ◆ Colonnades shall be designed with materials, colors, and details that are compatible with the style of the building and the materials used on the facade.



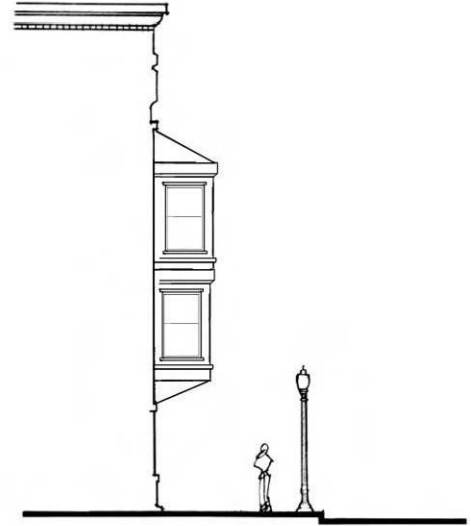
J. BAY WINDOWS

DESIGN REGULATIONS

DR.J-1

The following standards apply to projecting bay windows:

- ◆ The maximum length of a bay window shall be eight feet.
- ◆ Bay windows shall be designed with materials, colors, and details that are compatible with the style of the building and the materials on the façade.
- ◆ If more than one bay window is provided on a facade, at least four feet of horizontal separation should occur between the two bay windows.



DESIGN GUIDELINES

DG.J-1

Windows should be provided on all sides of the bay window. Windows should have a vertical orientation and proportion.

DG.J-2

The sides of bay windows should be angled.



CHAPTER 5

K. FRONT PORCHES/STOOPS

DESIGN REGULATIONS:

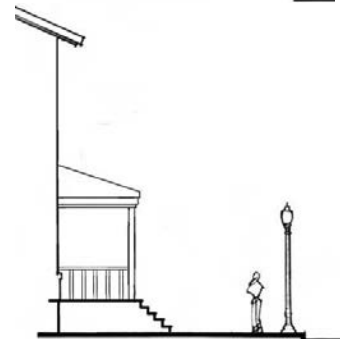
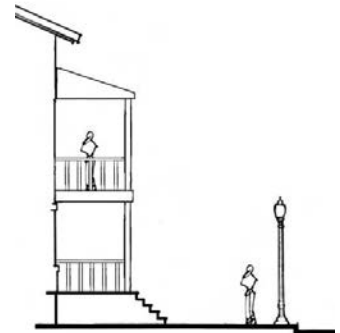
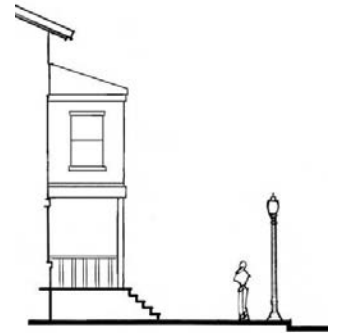
DR.K-1

The following standards apply to front porches and stoops:

- ◆ Front porches shall be covered with a roof, a balcony, or an enclosed habitable space. An enclosed habitable space may not occur within the setback zone.
- ◆ Front porches shall not be enclosed by permanent or temporary walls, windows, window screens, or plastic or fabric materials.
- ◆ The spacing of supporting columns, piers, or posts on front porches shall not exceed their height.
- ◆ The raised platform of a front porch (not including stairways) shall be at least 50 square feet in size with no one dimension less than 6 feet in length.
- ◆ The raised platform of a stoop (not including stairways) shall be at least 16 square feet in size with no dimension less than 4 feet in length.
- ◆ The design of the front porch and stoop, including materials, colors, and details shall be compatible with the overall style and form of the building. The front porch or stoop should not have a tacked-on appearance or look like it was an addition or afterthought.

DG.K-1

The stairs of a porch or stoop should be boxed or framed. Floating stairways should be avoided.



L. COMMERCIAL SIGNS

This section applies to permanent commercial business signs only. The City of Lancaster Zoning Ordinance shall be used to regulate all other signs (address markers, temporary signs, political signs, directional signs, special event signs, real estate signs, historic plaques, residential signs, etc).

The Planning Director has the authority to issue a sign permit in Downtown Lancaster if the sign is designed to comply with the applicable Design Regulations in this section. To allow for creative signing solutions, the Planning Commission may issue a permit for a sign that is not specifically permitted or prohibited by this regulating code. Examples of such signs may include a vertically oriented sign for a movie theater marquee or an electronic kiosk sign that shows stock market prices for a bank.

Existing signs that were established lawfully before this Specific Plan was adopted shall be considered legal non-conforming signs. Sections 17.32.830 thru 17.32.880 of the City of Lancaster Zoning Ordinance shall be used to regulate legal non-conforming signs.

DESIGN REGULATIONS

DR.L-1

In order to avoid sign clutter, signage shall only be allowed on facades that have building entrances.

DR.L-2

Signs shall not cover or obscure windows, doors, storefronts, building entrances, cornices, columns, or other architectural elements or details.

DR.L-3

The gross area of all signs that are mounted parallel to a facade shall not exceed 10% of the total area of the facade.

DR.L-4

The following types of signs are allowed in Downtown Lancaster

- ◆ Awning or marquee sign
- ◆ Storefront sign
- ◆ Primary Tenant Sign
- ◆ Window Signs
- ◆ Projecting signs
- ◆ Directory signs
- ◆ Monument signs

Design Regulations for these signs are provided below:

Inappropriate use of signage on facades:



CHAPTER 5

DR.L-5

Awning or Marquee Signs: A sign that is printed or mounted on an awning or marquee. The following standards apply to these signs:

- ◆ Awning and marquee signs are only allowed on Commercial Block, “Main Street Commercial Block, and Live-Work Loft buildings.
- ◆ Signs are only allowed on the front face or valance of the awning.
- ◆ Lettering shall not exceed the height of 8 inches.
- ◆ The width of the sign shall be limited to 80 percent of the width of the awning or marquee.
- ◆ Marquee signs may be illuminated by backlighting behind individually mounted letters or symbols, by neon tubing, or by the internal illumination of sign symbols and letters. Internally illuminated box signs that light the entire sign (letters, symbols, logos, and background) are prohibited.

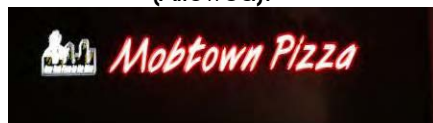
Awning and Marquee Signs:



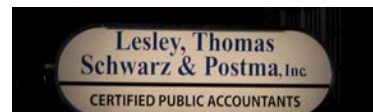
Backlighting behind individually mounted letters (Allowed):



Internal illumination of symbols and letters but not the sign background (Allowed):



Internally illuminated box sign (Prohibited):

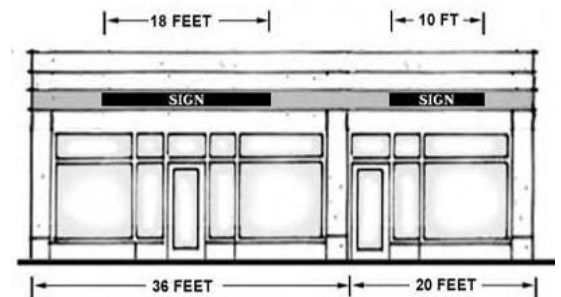


DR.L-6

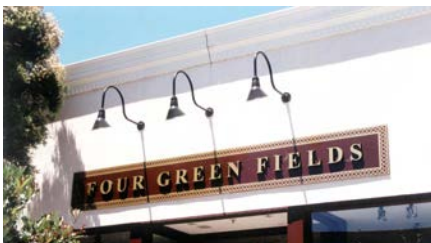
Storefront Signs: A horizontally oriented sign that is mounted on the facade above the entrance to ground floor stores. The following standards apply these signs:

- ◆ Storefront signs are only allowed on Commercial Block and “Main Street Commercial Block Buildings.
- ◆ The distance between the lowest point and highest point of a storefront sign shall not exceed 36 inches.
- ◆ Storefront signs shall not project out from the facade more than 12 inches.
- ◆ Ground floor business within a building may have one or multiple storefront signs. However, the cumulative width of all storefront signs on a facade shall not exceed 50 percent of the facades width.
- ◆ Storefront signs shall be placed in an area that that is above the ground floor storefront windows and below the windows on the second floor.
- ◆ Storefront signs may be illuminated externally by lights mounted on the facade, by backlighting behind individually mounted letters or symbols, by neon tubes, or by the internal illumination of sign symbols and letters. Internally illuminated box signs that light the entire sign (letters, symbols, logos, and background) are prohibited.

Storefront Sign:



Externally illuminated sign (Allowed):



Backlighting behind individually mounted letters (Allowed):



Internally illuminated box sign (Prohibited):



Internal illumination of symbols and letters but not the sign background (Allowed):



DR.L-7

Building/Primary Tenant Sign: A horizontally oriented sign that is mounted above the windows of the top floor of the building. These signs are used to identify the name of the building or the primary tenant of the building. The following standards apply to these signs:

- ◆ Building/primary tenant signs are only allowed on Commercial Block and “Main Street Commercial Block Buildings.
- ◆ Only one of these signs is allowed per building.
- ◆ The distance between the lowest point and highest point of a building/primary tenant sign shall not exceed 36 inches.
- ◆ Building/primary tenant signs shall not project out from the facade more than 12 inches.
- ◆ Building/primary tenant signs may be illuminated externally by lights mounted on the facade, by backlighting behind individually mounted letters or symbols, or by the internal illumination of sign symbols and letters. Internally illuminated box signs that light the entire sign (letters, symbols, logos, and background) are prohibited.

Building/Primary Tenant Signs:

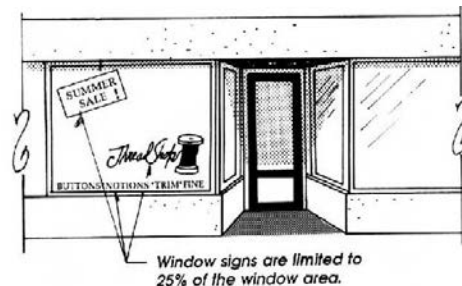


DR.L-8

Window signs: A temporary or permanent sign that is placed on or within 18 inches of a window (including windows on doors). Window signs include posters for advertisements and sales, product merchandise posters, open and closed signs, and painted or etched business names and logos. The following standards apply to these signs:

- ◆ Window signs are only allowed on the windows of non-residential uses.
- ◆ Window signs shall not occupy more than 25% of a window.
- ◆ Permanent window signs shall be created with permanent, fade resistant paint, gold-leaf lettering, or glass etching.
- ◆ In store lighting or an externally mounted light shall be used to illuminate window signs. The use of neon tubing shall be limited to “open and closed” signs.

Window Signs:



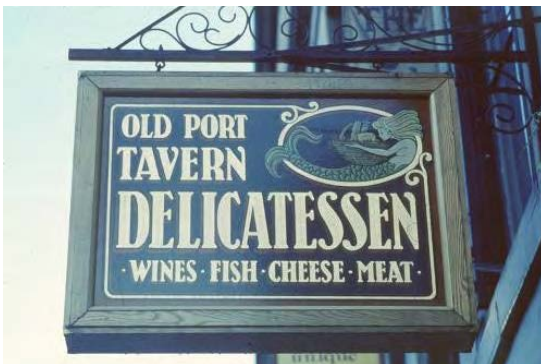
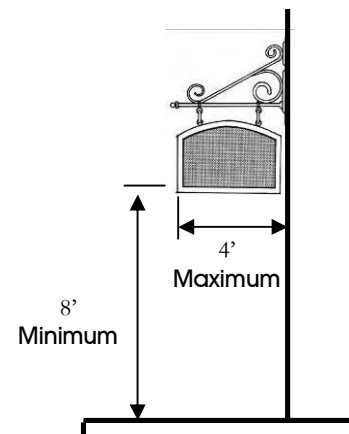
DR.L-9

Projecting Signs: A double-sided sign that projects perpendicular to the building facade and hangs from a mounted wall brace or from the ceiling of a balcony or arcade. The following standards apply to these signs:

- ◆ Projecting signs are only allowed on Commercial Block, “Main Street Commercial Block, and Live-Work Loft buildings.
- ◆ Projecting signs may project up to four feet from a facade.
- ◆ Projecting signs that hang from the ceiling of a balcony or arcade shall not exceed a width of four feet and shall be centered within the balcony or arcade
- ◆ At least eight feet of vertical clearance shall be provided from the lowest point of the sign and the sidewalk.
- ◆ The maximum area of a projecting sign shall not exceed 10 square feet
- ◆ Projecting signs shall be mounted near storefront entrances.
- ◆ The top of a projecting signs shall be located below the windows on the second floor of the building.
- ◆ A maximum of one projecting sign is allowed for every storefront entrance on the facade.
- ◆ Projecting signs shall be externally illuminated by a light mounted on the facade or by neon tubing used to illuminate letters, symbols, and accent frames.



Design Regulations for Projecting Signs:



DR.L-10

Directory Sign: A small sign that is attached flat against the facade at the eye level of pedestrians. Directory signs are either used to identify an individual business within a storefront or to identify multiple tenants that are accessible by a shared entrance or lobby. The following standards apply to these signs:

- ◆ Directory signs are only allowed near entrances to non-residential uses.
- ◆ Directory signs shall not exceed an area of six square feet.
- ◆ Only one directory sign is allowed for each storefront or lobby entrance.
- ◆ Directory signs shall be externally illuminated. Internal illumination and neon lighting is prohibited.

Directory Sign:

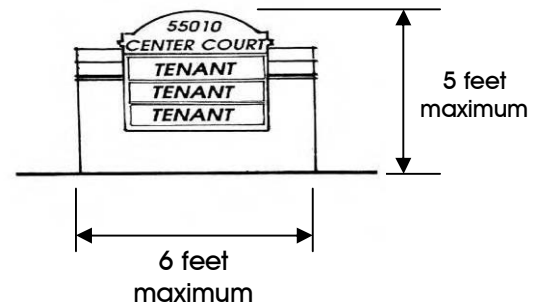


DR.L-11

Monument signs: A sign that is located on the ground within the front yard of a property. The following standards apply to these signs:

- ◆ Monument signs are only allowed for non-residential uses within buildings that are setback from the front property line.
- ◆ Only one monument sign is allowed per building.
- ◆ Monument signs shall not exceed a height of five feet from the ground surface.
- ◆ The maximum width of a monument sign shall be 6 feet.
- ◆ Monument signs shall be designed with materials, colors, and details that are compatible with the design of the building on the site.
- ◆ The area surrounding the monument sign shall be landscaped.
- ◆ Monument signs shall be externally illuminated. Internal illumination and neon lighting is prohibited.

Monument Signs:



CHAPTER 5

DR.L-11

The following types of signs are prohibited in Downtown Lancaster:

- ◆ Pole mounted or lollipop signs
- ◆ Billboards
- ◆ Inflatable or windblown signs
- ◆ Signs that produce smoke or sound
- ◆ Signs with animated or moving characters
- ◆ Changeable letter marquee signs (except for theaters or concert venues)
- ◆ Window signs that occupy more than 25% of the window's area
- ◆ Roof mounted signs
- ◆ Permanent sidewalk signs

Examples of prohibited signs:



Examples of prohibited signs:



DESIGN GUIDELINES

DG.L-1

Signs should be constructed of durable and weatherproof materials so that they will not discolor, fade, crack, rust, or erode.

DG.L-2

Simple and easy-to-read typefaces should be used on signs. Hard-to-read and intricate typefaces should be avoided.

DG.L-3

Signs that have symbols, characters, or graphics are encouraged. The symbol, character, or graphic should relate to the products sold in the business or to the name of the business.

DG.L-4

Signs that show depth and cast shadows are encouraged. Depth and shadows can be created by mounting individually cut letters and symbols on the sign base or carving letters and symbols into the base of the sign.

DG.L-5

Sign materials and colors should compliment the building façade. Basic and simple color applications are encouraged and vibrant and fluorescent colors should be avoided.

DG.L-6

The color of letters and symbols should contrast the base or background color of the sign to maximize readability.

DG.L-7

Sign lighting should be directed and shielded to illuminate the sign and not to spill over to other parts of the building or site.



Easy-to-read fonts should be used and hard to read fonts should be avoided.



Signs that symbolize what is sold in the store are encouraged



CHAPTER 5

SERVICE AREAS

DESIGN REGULATIONS:

DR.L-1 Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings.

DR.L-2 Trash disposal areas shall be screened from public views from all sidewalks, streets, plazas, and public spaces.

DR.L-3 Trash enclosures or garages shall be used to store outdoor garbage containers or dumpsters.

DESIGN GUIDELINES:

DG.L-1 The design of trash enclosures should be architecturally compatible with other buildings on the site, and their design should use similar forms, materials, and color applications.

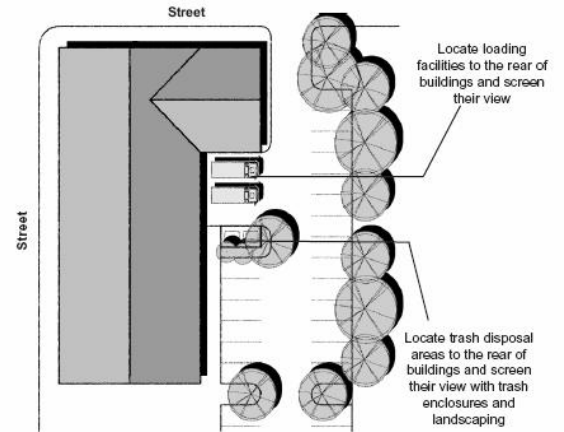
M. MECHANICAL EQUIPMENT

DESIGN REGULATIONS

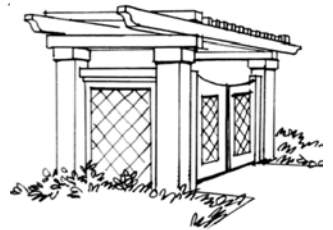
DR.M-1 The following shall be screened from public views from streets, pedestrian walkways, sidewalks, plazas, courtyards and public spaces:

- ◆ Electric and water utility meters
- ◆ Power transformers and sectors
- ◆ Heating/ventilation/cooling equipment
- ◆ Irrigation and pool pumps
- ◆ Satellite dishes greater than 18” in diameter
- ◆ Antennas
- ◆ Rooftop mechanical equipment
- ◆ Other mechanical equipment

Appropriate methods of screening include fencing, landscaping, roof parapets, and equipment enclosures. The design of screening devices shall be compatible with the main structure and conform to other sections of this Code. Noise levels of mechanical equipment shall be minimized.



Trash disposal area shall be located to the rear of buildings and screened from public view by enclosures and landscaping



N. LANDSCAPING

DESIGN REGULATIONS

DR.N-1

The following areas shall be landscaped and regularly maintained to be free of weeds, overgrown vegetation, and litter:

- ◆ Yards that are visible from streets, sidewalks, plazas, courtyards, and/or other public spaces.
- ◆ Common outdoor areas within any development
- ◆ Private and public surface parking lots.



DR.N-2

All new trees shall have a caliper size of 3 inches measured 12 inches from the ground. If the species is not available in this size, a caliper of 2 ½ inches measured 12 inches from the ground will be acceptable.



DR.N-3

In order to provide adequate pedestrian clearance, trees shall be pruned regularly so that there is at least 7 feet of vertical clearance between the lowest branches of the tree and the grade of the adjacent sidewalk or pedestrian walkway. They shall also be pruned to maintain the health, vigor, and natural shape of the tree, and to maintain vehicular clearance and sight lines.

DR.N-4

All trees shall have an adequately sized planting area. The size of the planting area shall be based on the amount of room needed for tree roots. Root barriers shall be used when trees are planted near pedestrian walkways and sidewalks.



DR.N-5

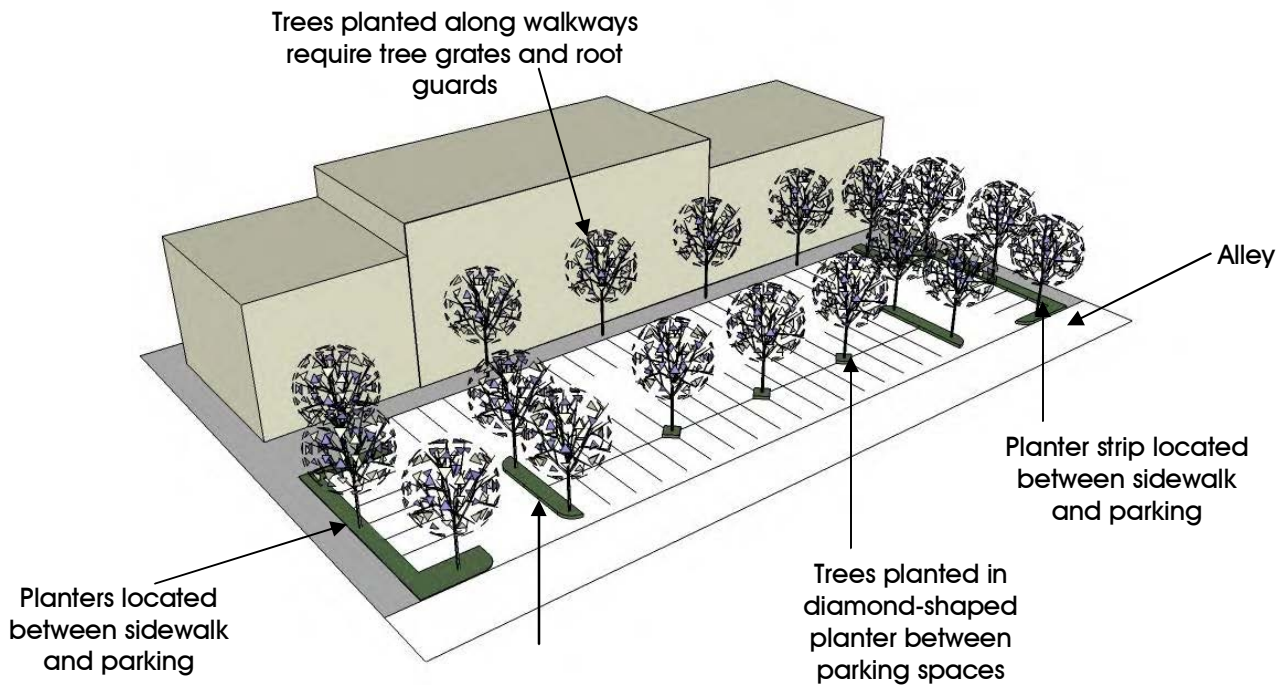
All landscaping shall be maintained in a healthy and attractive state and shall be watered, weeded, generally maintained, and replaced (if necessary) by the property owner/property manager.

CHAPTER 5

DR.N-6

All surface parking lots shall be designed with the following landscaping features:

- ◆ Landscaped planters: Landscaped planters shall be located between public sidewalks and parking lots. Landscaped planters shall be at least 5 feet wide and shall be planted with a combination of shrubs, trees, and flowering plants.
- ◆ Trees: Trees shall be planted at a ratio of one tree per four parking spaces. Trees may be planted in landscaped planters, tree wells in pedestrian walkways, and/or diamond shaped planter boxes located between parking rows. Diamond-shaped planter boxes and tree wells shall be at least 5 feet square. Tree grates and root guards shall be required for trees planted within pedestrian walkways.
- ◆ Ground cover, low-lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.



DR.N-7

The Planning Director shall approve all parking lot trees. Trees that provide a canopy of shade in the summer and that do not drop heavy cones, sap, fruit, and seedlings shall be selected.

DESIGN GUIDELINES

DG.N-1

Public art and interpretative heritage plaques and kiosks should be incorporated into landscaped areas to highlight Lancaster's unique history and heritage.



DG.N-2

Flowerpots and planter boxes are encouraged to add color and variety to the landscape. Flowerpots and planters are encouraged on porches, second-story balconies, and below windows. Flowerpots may also hang from porch overhangs and columns of posts. All flowerpots and planter boxes should be compatible with the architecture style of the building.

DG.N-3

Properties should be landscaped with indigenous or drought-tolerant plants and trees that can grow in the microclimate of Downtown Lancaster. Plants and trees should be adaptable to the site's microclimate, soil, and orientation/aspect.



DG.N-4

The amount of space dedicated to lawns should be minimized to reduce water demand and the use of fertilizers. Lawns should only be used in areas that are intended for relaxation or play. Native groundcover or perennial grasses, shrubs, and trees should be used in place of lawns whenever possible.

DG.N-5

Plants and trees should be grouped based on the water demands of the species. Dividing the plants into low, medium, and high water use zones will help to prevent over watering.

DG.N-6

All landscaped areas should be irrigated with automatic drip or bubbler irrigation systems that do not produce over-spray on surfaces outside the planting area.

CHAPTER 5

O. FENCES, WALLS, AND GATES

DESIGN REGULATIONS

DR.O-1

The design of fences and walls shall be compatible with the architecture of the building on the site.

DR.O-2

Pergolas and entrance arbors are allowed on fences/walls. These features shall not exceed 8 feet in height.

DR.O-3

Fences and walls shall have an articulated design. Articulation can be created by having regularly spaced posts, changing the height of the fence/wall, and by using different building materials at the base, posts, or the cap of the fence/wall. Flat walls, chain link fences, and barbed wire fences are prohibited.

DESIGN GUIDELINES

DG.O-1

Fences and walls may be constructed of the following materials:

- ◆ Wood
- ◆ Natural stone
- ◆ Wrought iron
- ◆ Concrete masonry
- ◆ Brick
- ◆ Other materials of similar quality, durability, and character to those listed above and approved by the Planning Director.

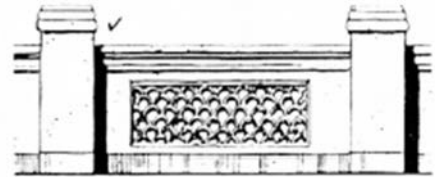
DG.O-2

Fences and walls should be painted to match or compliment the color of the building; however, walls constructed with brick and stone should not be painted, in order to display the natural color of the materials.

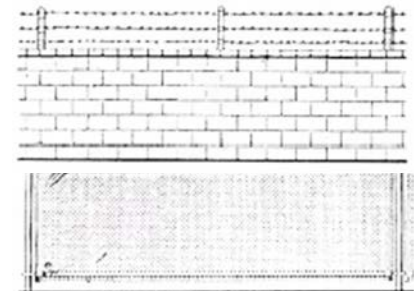
DG.O-3

At least 50 percent of a front yard fence should be transparent. Completely solid walls (not including retaining walls for terraces) should be avoided in front yards.

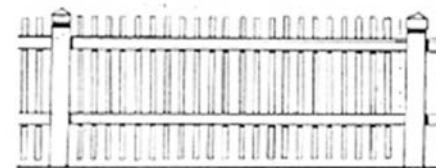
Example of appropriate fence/wall design:



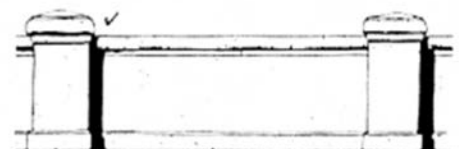
Example of inappropriate fence/wall designs:



Example of a transparent fence (you can see through it)



Example of a non-transparent fence (it is solid and you cannot see through it)



P. SITE LIGHTING

DESIGN REGULATIONS:

DR.P-1

The following areas shall be illuminated at night to insure the safety of users and to minimize opportunities for crime.

- ◆ Surface parking lots.
- ◆ Parking structures, including access points elevators, and stairwells.
- ◆ Pedestrian walkways and paths.
- ◆ Plazas.
- ◆ Sidewalks.
- ◆ Automated Teller Machines (ATMs).
- ◆ All entrances to buildings, including rear and service entrances.
- ◆ Garbage disposal areas.
- ◆ Alleys.
- ◆ Other areas that are routinely used by pedestrians.

DR.P-2

Site, building, and sign lighting shall be located and directed to light the intended area of illumination and to prevent off-site glare impacts on adjacent buildings or properties.

DESIGN GUIDELINES:

DG.P-1

Lighting should be provided at regular intervals to prevent the creation of light and dark pockets. Dark pockets can create uncomfortable areas for pedestrians and provide opportunities for criminals to hide in dark shadows. Light pockets can create a “fish bowl” affect. Within the light pocket (or the “fish bowl”), pedestrians may be observed, but their ability to see outside of the light pocket is limited, which creates discomfort and insecurity.

DG.P-2

Over-lighting of buildings and sites should be avoided. Over-lighting can create an environment that feels like a prison-yard and can ruin desired night-time ambience.

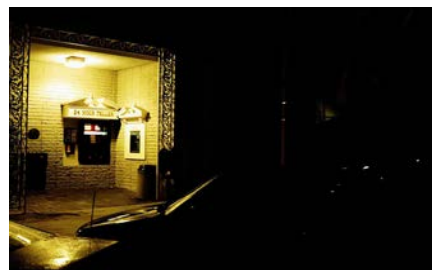
DG.P-3

All lighting poles and fixtures should have a decorative/ornamental design that complements the structures on the site.

Examples of safe and desirable night-time lighting:



Examples of poor and undesirable night-time lighting that creates dark and light pockets:



Examples of appropriate paving surfaces and patterns for public plazas

CHAPTER 5

Q. PLAZAS AND COURTYARDS

DESIGN REGULATIONS:

DR.Q-1

All plazas, pedestrian walkways, and courtyards shall be designed with an ornamental surface that is differentiated from the sidewalk and asphalt streets and parking lots. Appropriate types of ornamental paving include:

- ◆ Natural stone.
- ◆ Turf block.
- ◆ Brick.
- ◆ Concrete unit pavers.
- ◆ Concrete with special textures, colors, and patterns.

DR.Q-2

All plazas and courtyards shall be designed with pedestrian amenities, such as seating, outdoor dining tables with umbrellas, planters, trees, vine covered pergolas, pedestrian scaled lighting, public artwork, outdoor fireplaces, and fountains.

DR.Q-3

Plazas and courtyards shall be illuminated from dusk to dawn. A combination of overhead lighting and lighted bollards shall be used.

DESIGN GUIDELINES

DG.Q-1

Fountains, misters, and other water features should be incorporated into the design of plazas and courtyards.

DG.Q-2

A combination of hard and soft surfaces should be incorporated into the design of plazas and courtyards to add visual interest and variety.

DG.Q-3

Public art and interpretive heritage plaque should be incorporated into the design of plazas to highlight Lancaster's unique history and heritage.



Examples of a public plaza and pedestrian walkway that is improved with pedestrian amenities:



R. PARKING REQUIREMENTS

DESIGN REGULATIONS:

DR.R-1

The minimum required number of parking spaces shall be determined based on the following standards:

- ◆ Housing: 1.0 space per dwelling unit.
- ◆ Hotels: 1.0 space per rental room.
- ◆ Retail: 2.0 spaces per 1000 square feet.
- ◆ Office: 2.2 spaces per 1000 square feet.
- ◆ Bank: 3.0 spaces per 1000 square feet.
- ◆ Utility: 2.5 spaces per 1000 square feet.
- ◆ Government: 1.0 space per 1000 square feet.

DR.R-2

When the calculation of the required number of parking spaces results in a fractional number, fractions equal to or greater than one-half shall be adjusted up to the next whole number.

DR.R-3

On-site parking requirements for automobiles may be reduced with the submittal and approval of a parking analysis and/or shared parking plan to justify the proposed reduction in parking. The Planning Director (or Planning Commission in cases requiring a conditional use permit) shall approve the parking analysis.

DR.R-4

On-site parking stalls may be located directly off the alley if the width of the alley can adequately accommodate the turning radius of vehicles pulling in and out of the parking stalls. No parking stall shall project into an alley, sidewalk, or street.

DR.R-5

All parking lots shall be surfaced with asphalt, concrete, unit pavers, or similar hard surface. Parking spaces shall be striped.

DR.R-6

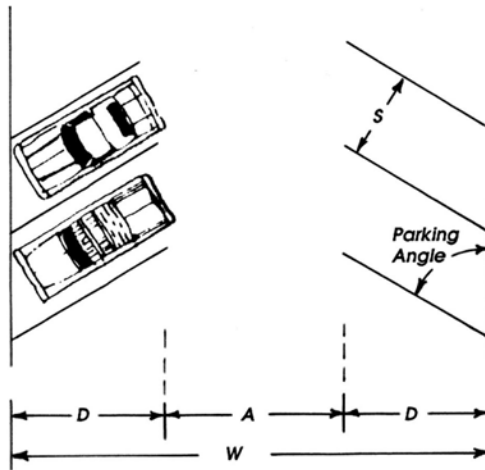
All parking and service areas that are adjacent to a street shall be buffered from public views by a combination of landscaping and fences/walls.

CHAPTER 5

DR.R-7

The dimensions of on-site parking spaces shall be based on the following standards:

On-Site Parking Dimensions:			
Parking Angle	Stall Width (S)	Stall Depth (D)	Aisle Width (A)
90	8	18	22
30	8	20	10
45	8	20	11
60	8	20	18
Parallel	8	20	
ADA	13.5	Same as above	

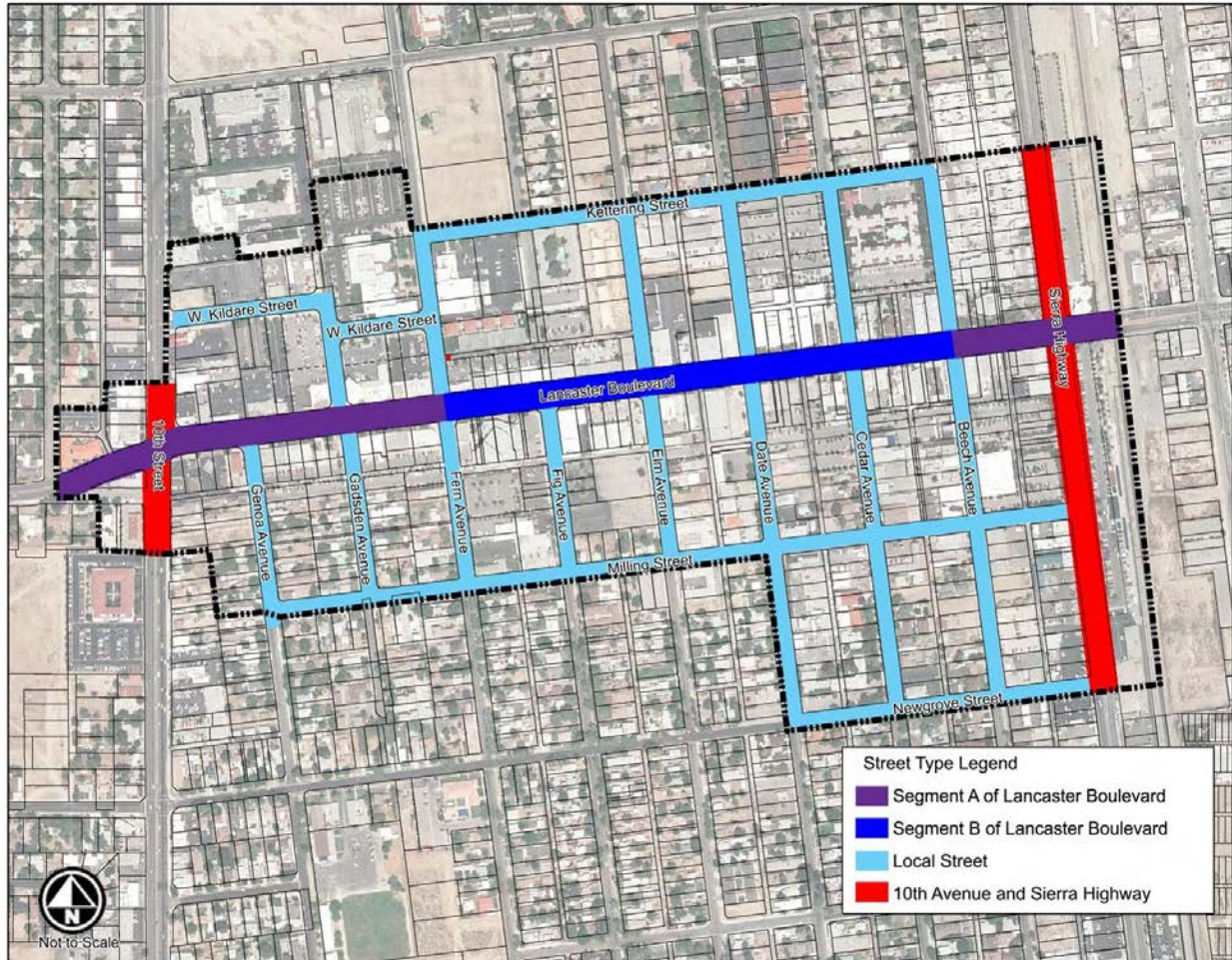


T. STREETS

GUIDELINES

The design and construction of a new or reconstructed street or alley shall be based on the guidelines of this Section applicable to the street type identified on the Figure 5-19, Street Map.

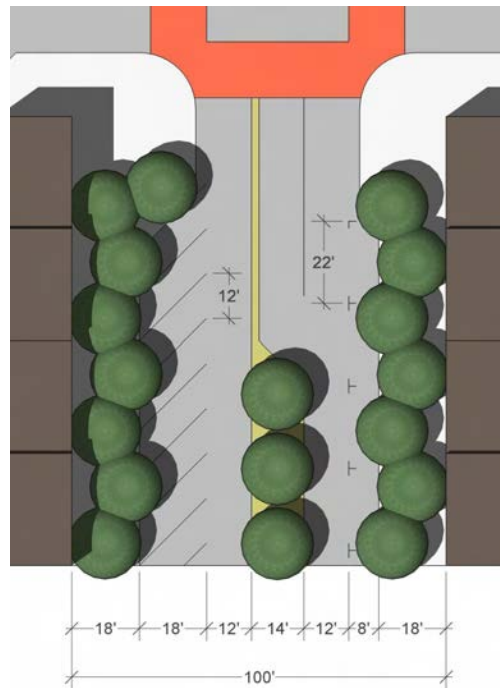
Figure 5-19: Street Map



CHAPTER 5

DG.T-1

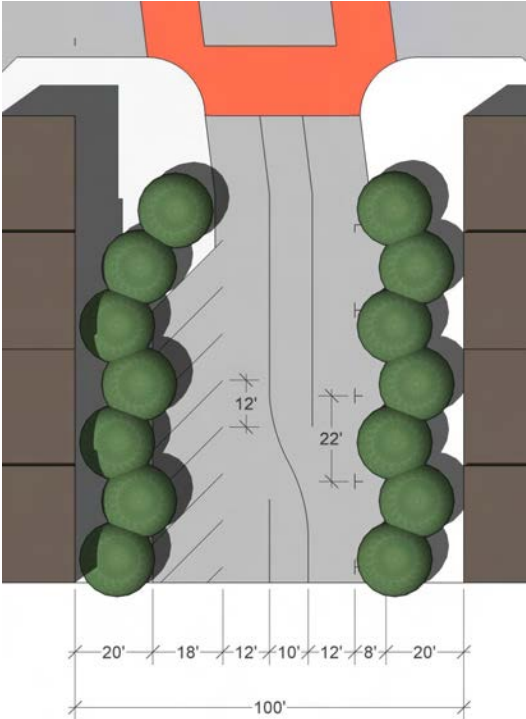
Segment A of Lancaster Boulevard should be designed based on the guidelines below.



Lancaster Boulevard Segment A	
Vehicle Design Speed:	25 mph
Traffic Flow:	Two ways (one-lane in each direction)
Center Left-Turn Lane:	Yes
Center Median:	Yes
On-street Parking Lanes:	Angled parking (45 degrees) on north side of the street. Parallel parking on south side of the street.
Radius of Curb at Intersection:	5 feet minimum to 15 feet maximum
Bulb-outs:	Recommended for all intersections and mid-block crosswalks. The depth of the bulb-out extension shall maintain an effective vehicle turning radius of at least 25 feet.
Lighting:	Required along sidewalks. Spacing of lights shall not exceed a distance of 30 linear feet. The maximum height of a streetlight shall not exceed 15 feet.
Streetscape Furniture:	A bench and trash/recycling receptacle are required for every 200 linear feet of sidewalk. A bicycle rack is recommended every 300 feet.
Crosswalks:	Crosswalks with special paving/textures are required.
Street Trees/Planters:	Street trees are required along sidewalks and center medians. Spacing of trees shall not exceed 30 linear feet. Trees shall be located in a tree well with a tree grate or a landscaped planter.
Potential Variations	Additional travel/merge lanes may be required at intersection approaches of 10 th Avenue and Sierra Highway to mitigate traffic Impacts. As determined by the City, a roundabout may be constructed at the intersection of 10 th Avenue.

DG.T-2

Segment B of Lancaster Boulevard should be designed based on the guidelines below.

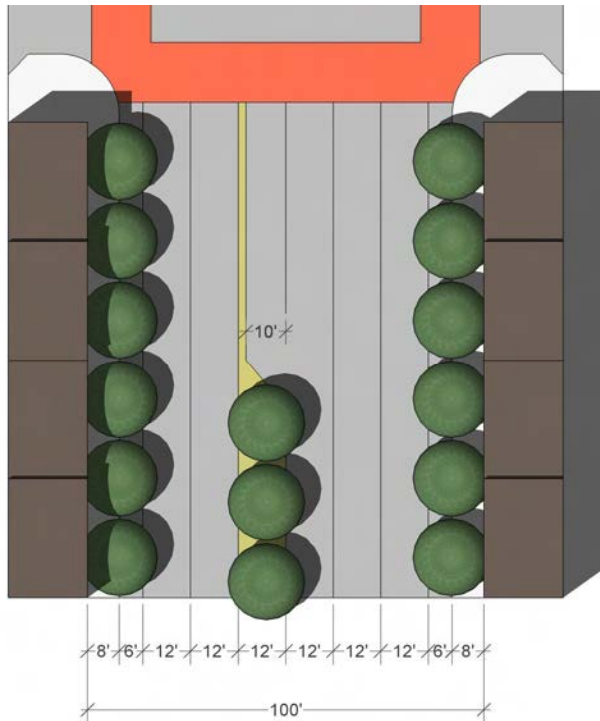


Lancaster Boulevard Segment B	
Vehicle Design Speed:	20 mph
Traffic Flow:	Two ways (one-lane in each direction)
Center Left-Turn Lane:	Yes
Center Median:	No
On-street Parking Lanes:	Angled parking (45 degrees) on one side of the street and parallel parking on the other. The angled and parallel parking pattern switches sides of the street after each block.
Radius of Curb at Intersection:	5 feet minimum to 15 feet maximum
Bulb-outs:	Recommended for all intersections and mid-block crosswalks. The depth of the bulb-out extension shall maintain an effective vehicle turning radius of at least 25 feet.
Lighting:	Required along sidewalks. Spacing of lights shall not exceed a distance of 30 linear feet. The maximum height of a streetlight shall not exceed 15 feet.
Streetscape Furniture:	A bench and trash/recycling receptacle are required for every 200 linear feet of sidewalk. A bicycle rack is recommended every 300 feet.
Crosswalks:	Crosswalks with special paving/textures are required.
Street Trees/Planters:	Street trees are required along sidewalks. Spacing of trees shall not exceed 30 linear feet. Trees shall be located in a tree well with a tree grate or a landscaped planter.
Potential Variations	None.

CHAPTER 5

DG.T-3

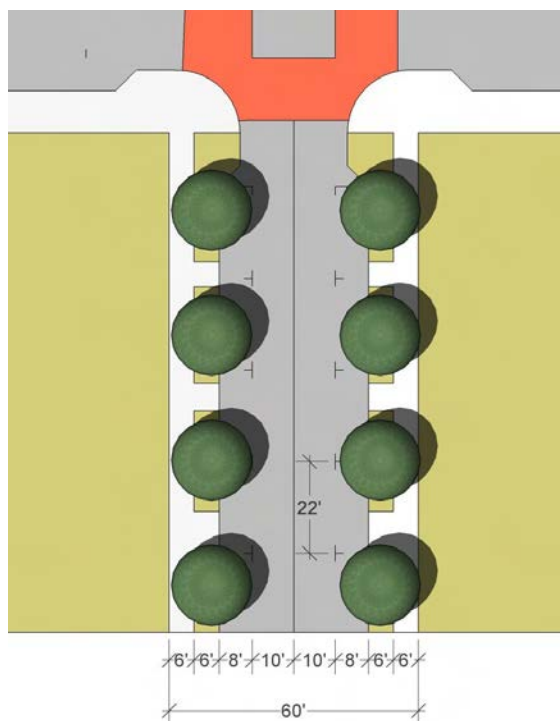
10th Street and Sierra Highway should be designed based on the guidelines below.



10th Street and Sierra Highway	
Vehicle Design Speed:	35 mph
Traffic Flow:	Two ways (three northbound lanes and two southbound lanes)
Center Left-Turn Lane:	Yes
Center Median:	Yes
On-street Parking Lanes:	Prohibited.
Radius of Curb at Intersection:	5 feet minimum to 15 feet maximum
Bulb-outs:	Bulb-outs are not recommended.
Lighting:	Required along sidewalks. Spacing of lights shall not exceed a distance of 30 linear feet. The maximum height of a streetlight shall not exceed 15 feet.
Streetscape Furniture:	A bench and trash/recycling receptacle are required for every 200 linear feet of sidewalk. A bicycle rack is recommended every 300 feet.
Crosswalks:	Crosswalks with special paving/texture are required.
Street Trees/Planters:	Street trees are required along sidewalks and center medians. Spacing of trees shall not exceed 30 linear feet. Trees shall be located in a tree well with a tree grate or a landscaped planter.
Bike Lanes:	Recommended.
Potential Variations	Additional travel/merge lanes may be required at intersections approaches to mitigate traffic Impacts. As determined by the City, a roundabout may be constructed at the intersection of 10 th Avenue and Lancaster Boulevard.

DG.T-4

Local streets should be designed based on the guidelines below.



Local Streets	
Vehicle Design Speed:	25 mph
Traffic Flow:	Two ways (one-lane in each direction)
Center Left-Turn Lane:	No
Center Median:	No
On-street Parking Lanes:	Parallel parking on both sides of the street.
Radius of Curb at Intersection:	5 feet minimum to 15 feet maximum
Bulb-outs:	Recommended for all intersections. The depth of the bulb-out extension shall maintain an effective vehicle turning radius of at least 25 feet.
Lighting:	Required along sidewalks. Spacing of lights shall not exceed a distance of 60 linear feet. The maximum height of a streetlight shall not exceed 15 feet.
Streetscape Furniture:	Benches, trash/recycling receptacles, and bike racks may be required on sidewalks that are adjacent to commercial uses.
Crosswalks:	Crosswalks with special paving/texture are recommended. Painted crosswalks are allowed.
Street Trees/Planters:	Street trees are required along sidewalks. Spacing of trees shall not exceed 30 linear feet. Trees shall be located in a landscaped planter strip between the sidewalk and street.
Potential Variations	None
Vehicle Design Speed:	25 mph

CHAPTER 5

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