

Notice of Exemption

To: _____ Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

From: City of Lancaster
Development Services Department
44933 Fern Avenue
Lancaster, CA 93534

X County Clerk
County of Los Angeles
Environmental Filings
12400 E. Imperial Hwy.
Norwalk, CA 90650

(Date received for filing)

Project Title: Conditional Use Permit No. 22-15
Project Applicant: Quick Quack Car Wash/Vance Shannon
Project Location - General: City of Lancaster, County of Los Angeles, State of California
Project Location - Specific: ±1.05 gross acres at the southeast corner of 20th Street West and Avenue I just east of the existing Chevron gas station (APN 3121-034-039)

Project Description: The proposed project consists of construction and operation of a 3,596 square foot car wash on approximately 1.05 acres in the Commercial Planned Development (CPD) zone. . The carwash would consist of a 3,596 square foot building that contains the carwash tunnel, office, employee lounge, and restrooms. To the east of the building would be three car wash prep lanes that would feed into one lane through the car wash traveling north to south. Upon exit from the car wash, a total of 14 vacuum stalls would be available for use on the west side of the building for use by customers. The mechanical equipment associated with the vacuums would be screened from view by block wall enclosures. Access to the proposed project would be from two driveways; one located on 20th Street West and one located on Avenue I. The driveway on 20th Street West would be right-in and right-out only. The hours of operation for the car wash would be 7 a.m. to 9 p.m., Monday through Sunday.

Name of Public Agency Approving Project: City of Lancaster
Name of Person or Agency Carrying Out Project: Quick Quack Car Wash

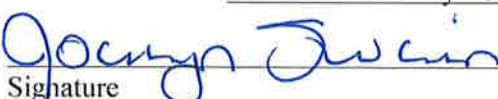
Exempt Status: (check one)

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- Categorical Exemption. State type and section number: Section 15332, Infill Development Projects
- Statutory Exemptions. State code number: _____

Reasons why project is exempt: The project site is approximately 1.05 acres and is substantially surrounded by existing development. The project would be in compliance with the General Plan designation and zoning for the site; does not provide any habitat for special status or listed species; would not generate any significant impacts and can be served by all utilities and services.

Lead Agency

Contact Person: Jocelyn Swain **Area Code/Telephone:** (661) 723-6100


Signature

Senior Planner
Title

April 17, 2023
Date