



Annual Action Plan
FY 2023-2024

Adopted
May 9, 2023

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Version History

No.	Summary of Changes			
1	Published Draft for Public Comment:	April 7, 2023	Sent to HUD for Approval:	May 15, 2023
	Conducted Public Hearing:	May 9, 2023	Approved by HUD:	TBD
	Original 2023-2024 Annual Action Plan (AAP).			

AP-05 Executive Summary - 24 CFR 91.200(c), 91.220(b)

1. Introduction

The 2023-2024 Annual Action Plan (AAP) is a one-year plan to address the community development and low- and moderate-income housing needs in the City. It is the fourth AAP of five annual plans implementing the 2020-2024 Consolidated Plan - Strategic Plan goals for the annual investment of Federal Community Development Block Grant (CDBG) and HOME Investment Partnerships (HOME) funds from the U.S. Department of Housing and Urban Development (HUD). The AAP identifies available resources, annual goals and projects for the period beginning July 1, 2023, and ending June 30, 2024.

The City receives CDBG and HOME funds from HUD on a formula basis each year, and in turn, allocates funds for projects designed to achieve the goals and outcomes included in the 2020-2024 Consolidated Plan - Strategic Plan. The CDBG and HOME programs provide for a wide range of eligible community development and housing projects that benefit low- and moderate-income City residents.

Community Development Block Grant (CDBG)

The Housing and Community Development Act of 1974 created the CDBG Program with three (3) primary objectives against which HUD evaluates the Consolidated Plan and the City's performance under the Plan. Those primary objectives are decent housing, suitable living environments, and expanded economic opportunities for low- and moderate-income persons. The CDBG regulations require that each activity meet one (1) of the following national objectives:

- Benefit low- and moderate-income persons;
- Aid in the prevention or elimination of slums and blight; or
- Meet other community development needs having a particular urgency (usually the result of a natural disaster).

HOME Investment Partnerships (HOME)

The Cranston-Gonzalez National Affordable Housing Act of 1990 created the HOME program to expand the supply of affordable housing for low- and moderate-income households. Often used in partnership with local nonprofit housing development organizations, the HOME program can support a wide range of affordable housing activities, including building, buying, and/or rehabilitating rental and ownership housing or providing direct rental assistance to low- and moderate-income people.

2023-2024 Program Year

For the 2023-2024 program year, the City will receive \$1,463,022 in CDBG funds and \$724,611 in HOME funds for projects in this AAP.

Due to the uncertainty in the City's 2023-2024 annual allocations, a request of the City Council is being made to provide staff and the public with a methodology for which activity budgets will be adjusted when the final allocations are released by HUD. It is recommended that City Council adopt the following language for adjusting activity budgets for the CDBG and HOME programs:

CDBG

- Should the CDBG allocation be higher than \$1,463,022:
 - Admin – Fair Housing will remain funded at \$40,000 and the CDBG Administration budget will be increased to maximize the 20% cap for administrative activities.
 - Public Service – The City will not award any additional activities but will increase the award of those agencies allocated funds in the 2023-2024 AAP, proportionately, up to the 15% public service cap.
 - Capital – Balance of funds will be allocated to the City's Home Rehabilitation Program.
 - Funding levels for all outstanding activities will remain the same as proposed in the 2023-2024 AAP.

- Should the CDBG allocation be lower than \$1,463,022:
 - Admin – Fair Housing will remain funded at \$40,000 and the CDBG Administration budget will be decreased to be compliant with the 20% cap for administrative activities.
 - Public Service – Decrease the award of those agencies allocated funds in the 2023-2024 AAP, proportionately, to be compliant with the 15% cap for public service activities.
 - Capital – Balance of funds will be deducted from the City's Home Rehabilitation Program.
 - Funding levels for all outstanding activities will remain the same as proposed in the 2023-2024 AAP.

HOME

- Should the HOME allocation be higher than \$724,611:
 - Admin – Increase HOME Administration budget to maximize the 10% cap for Administrative activities.
 - CHDO – Increase CHDO set-aside to the minimum 15% cap for CHDO activities.
 - Capital – Balance of funds shall be awarded to the Homebuyer Assistance Program.

- Should the HOME allocation be lower than \$724,611:
 - Admin – Decrease HOME Administration budget to be compliant with the 10% cap for Administrative activities.
 - CHDO – Decrease CHDO set-aside to the minimum 15% cap for CHDO activities.
 - Capital – Balance of funds shall be deducted from the Homebuyer Assistance Program.

2023-2024 CDBG Activities

Public Service

Antelope Valley Medical Center Foundation: Forensic Services Unit	\$80,000
Lancaster Homeless Group dba Street Company: Coffee Manufacturing Homeless Employment Program	\$35,953
Lost Angels Children’s Project: Work Program	\$83,500
Care Net Women’s Resource Center: Ultrasound Expansion Project	\$20,000

Sub-Total: \$219,453

Capital

The Children’s Center of the Antelope Valley: The CREATE Center	\$175,000
City of Lancaster: Home Rehabilitation Program	\$565,074
City of Lancaster: Section 108 Loan Repayment Mental Health America	\$103,428
City of Lancaster: Section 108 Loan Repayment Children’s Center	\$107,463

Sub-Total: \$950,965

Administration

City of Lancaster: CDBG Administration	\$252,604
Fair Housing Foundation: Fair Housing Services (Admin CAP)	\$40,000

Sub-Total: \$292,604

TOTAL 2023-2024 CDBG PROGRAM \$1,463,022

2023-2024 HOME Activities

Capital

CHDO Set Aside	\$108,692
Homebuyer Assistance Program	\$543,458

Sub-Total: \$652,150

Administration

Program Administration	\$72,461
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Sub-Total: \$72,461

TOTAL 2023-2024 HOME PROGRAM \$724,611

2. Summarize the objectives and outcomes identified in the Plan

The City will address the following objectives during the 2023-2024 program year. These objectives are as follows:

- Provide Decent Affordable Housing
- Improve and Expand Facilities and Infrastructure
- Provide Supportive Human Services
- Planning and Administration

	Goal Name	Category	Need(s) Addressed	Goal Outcome Indicator
1	Increase the Supply of Affordable Housing	Affordable Housing	Affordable Housing	5 - Household Housing Unit
2	Improve and Expand Facilities and Infrastructure	Non-Housing Community Development	Facilities and Infrastructure	500,000 - Persons 10 - Other
3	Provide Supportive Human Services	Homeless/Non-Homeless/Special Needs	Supportive Human Services	2,850 - Persons
4	Planning and Administration	Non-Housing Community Development	Planning and Administration	10 - Other
5	Fair Housing	Non-Housing Community Development/Homeless/Non-Homeless Special Needs	Supportive Human Services	1,500 - Persons
6	Affordable Housing Preservation	Affordable Housing	Affordable Housing	80 - Household Housing Units
7	Promote Homeownership Opportunities	Affordable Housing	Affordable Housing	25 - Households

Table 1 – Strategic Plan Summary

3. Evaluation of past performance

The City is implementing the projects and activities included in the 2020-2024 Consolidated Plan and prior AAPs. City staff continually evaluate the CDBG and HOME Programs and adjust and/or process improvements where and when necessary.

As of the preparation of this document, the City has not yet finalized its 2022-2023 program year, and therefore are unable to report on those accomplishments. Accomplishment data for the 2022-2023 program year will be reported in the City's 2022-2023 Consolidated Annual Performance and Evaluation Report (CAPER) which is anticipated to be completed in September 2023.

During the 2021-2022 program year, the City and its partners were able to:

- Provide Fair Housing services to 246 individuals.
- Commence the design of the Webber Pool Improvement Project which is anticipated to be completed during the 2023 calendar year.
- Commence community outreach efforts for the design of the Mariposa Park Improvement Project which is anticipated to be completed during the 2023-2024 program year.

4. Summary of Citizen Participation Process and consultation process

A public comment/review period notice outlining the proposed use of funds for the 2023-2024 AAP was published April 5, 2023, allowing a 30-day review/comment period starting on April 7, 2023, and ending on May 9, 2023. This notice was made in compliance with HUD guidelines and the City's approved Citizen Participation Plan (CPP) of the 2020-2024 Consolidated Plan.

A public hearing was held May 9, 2023, to receive public comment on the proposed 2023-2024 AAP and receive City Council action.

5. Summary of public comments

No comments were received during the preparation of the 2023-2024 AAP.

6. Summary of comments or views not accepted and the reasons for not accepting them

All comments and views were accepted. A complete list of comments received have been included in Appendix A.

7. Summary

The City adopted the 2023-2024 AAP for the planning period of July 1, 2023, through June 30, 2024, to utilize \$1,463,022 in CDBG and \$724,611 in HOME funds on May 9, 2023.

PR-05 Lead & Responsible Agencies – 91.200(b)

1. Agency/entity responsible for preparing/administering the Consolidated Plan

The following are the agencies/entities responsible for preparing the 2023-2024 AAP and those responsible for administration of each grant program and funding source.

Agency Role	Name	Department/Agency
CDBG Administrator	City of Lancaster	Finance and Information Technology (FIT)
HOME Administrator	City of Lancaster	Real Estate and Economic Development (REED) Department

Table 2 – Responsible Agencies

Narrative

The City’s FIT Department is the lead agency responsible for the administration of the CDBG program and the City’s REED Department is the lead agency responsible for the administration of the HOME program. The City has contracted with LDM Associates, Inc. to assist in the preparation of the 2023-2024 AAP.

In the development of the Consolidated Plan, which guided the development of this fourth year AAP spanning the Five-year Consolidated Plan cycle, the City developed and implemented a comprehensive citizen participation and consultation process and conducted a needs assessment and market analysis to identify levels of relative need regarding affordable housing, homelessness, special needs, and community development. This information was gathered through consultation with public officials and local agencies, public outreach and community meetings, review of demographic and economic data, and housing market analysis.

In the implementation of the 2023-2024 AAP, the Department shall be responsible for all grants planning, management and monitoring duties necessary to comply with HUD regulations and City policy

Consolidated Plan Public Contact Information

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AP-10 Consultation – 91.100, 91.200(b), 91.215(l)

1. Introduction

Under the City Council / Manager form of government, the City Council appoints and provides policy direction to the City Manager, who is responsible for administering the city's daily operations. As the elected legislative body of the City, the City Council has overall responsibility for the scope, direction and financing of City services. In setting policy, the City Council works closely with citizen advisory commissions and committees, considers staff information, recommendations and receives comments from the general public during open forums.

In the preparation of the 2023-2024 AAP, the City has consulted with public and private departments, agencies, social services and non-profit organizations to understand the community's needs and available resources. Department staff provided input on how CDBG resources could be used and leveraged to provide services. The City solicited feedback through the following methods:

- Community Partners Meetings
- Notice of Funding Availability
- Workshops
- Public Notices
- Posting of documents on the City's website
- Public Hearings
- Receipt of written comments

Additionally, cities and governments within the region were contacted and consulted as well. The input received help to establish and inform the objectives and goals described in the Strategic Plan.

Provide a concise summary of the jurisdiction's activities to enhance coordination between public and assisted housing providers and private and governmental health, mental health and service agencies (91.215(l)).

The City is principal provider of community and economic development programs, housing projects, and financial support. The Los Angeles County Development Authority (LACDA) administers the Section 8 Voucher program. Activities to be undertaken by the LACDA are identified in the Public Housing Agency (PHA) 5 Year and One-Year Action Plans. The residents are invited each year to contribute to the drafting of the PHA's Plan.

Other key health, mental health and service agencies that the City works closely with during the AAP process are listed below:

- Antelope Valley Service Provider Coalition
- Homelessness Plan Community Participation (Survey)
- County of Los Angeles

Describe coordination with the Continuum of Care and efforts to address the needs of homeless persons (particularly chronically homeless individuals and families, families with children, veterans, and unaccompanied youth) and persons at risk of homelessness

Los Angeles County's homeless system of care is comprised of a network of public, private, faith-based, for-profit, and non-profit service providers who utilize several federal, state and local resources to provide services for homeless people. The region's municipalities, including the City, also provide resources for services that assist the homeless and those at risk of becoming homeless. To address the needs of the homeless population most efficiently, HUD has tasked local governments with developing a Continuum of Care (CoC). The CoC is a planning model designed to assist homeless persons at every level of need and to move a client from homelessness to permanent housing. The CoC addresses both the lack of housing affordable to the lowest income levels and the underlying causes of homelessness such as substance abuse, domestic violence, and mental illness. The County's nonprofit community plays a key role in the current CoC system. Hundreds of agencies throughout the County provide programs ranging from feeding the homeless on the street to creating permanent supportive housing opportunities. These services are available to homeless families with children, and single men and women.

The Los Angeles Homeless Services Authority (LAHSA) is the lead agency for the CoC in Los Angeles County. LAHSA guides the development of homeless strategies and the implementation of programs to end homelessness throughout the region. LAHSA partners with other local government agencies and community-based non-profit agencies to provide homeless services throughout Los Angeles County. All service providers within the CoC can refer people with varying needs to the appropriate service provider(s) in their area. Homeless needs are presented by the levels of service that form the CoC:

- Prevention – Activities include income support, rental assistance, and advocacy. Eviction prevention and crisis intervention help at-risk households maintain their housing and sidestep homelessness.
- Outreach and Assessment – Activities include walking the streets and other places not fit for human habitation and marketing available services to homeless persons reluctant to apply for services on their own. Once the client enters the system, the assessment process identifies the client's needs.
- Emergency Shelter – Offers a safe, secure, temporary place (up to 90 days) for homeless persons to reside while they prepare to move into more stable housing.
- Transitional Housing – Long-term (up to 24 months) housing with supportive services that address the underlying causes of homelessness. Transitional housing programs enable people to successfully transition to and maintain permanent housing.
- Permanent and Permanent Supportive Housing – Permanent housing for most is affordable, market-rate housing. Permanent supportive housing enables persons with disabilities to live as independently as possible. Moving previously homeless persons into permanent housing is the primary objective of the CoC.
- Supportive Services – Activities that help persons address the underlying causes of homelessness and move toward self-sufficiency and independent living. Services include substance abuse treatment, employment education and job readiness, budgeting workshops, parenting classes, and childcare. Services may be part of a housing program or independently provided.

For many City residents, the first entry into the CoC is through an emergency shelter, where individuals and families obtain emergency housing and supportive services directed to getting people off the streets and into a safe environment. Typically, people stay in an emergency shelter for a short period. Usually during this time, other housing is arranged, and the homeless person's immediate social service and medical needs are addressed.

Describe consultation with the Continuum(s) of Care that serves the jurisdiction's area in determining how to allocate ESG funds, develop performance standards and evaluate outcomes, and develop funding, policies and procedures for the administration of HMIS

The City's HUD entitlement allocation does not include ESG funds. However, the City will continue to support the efforts of LAHSA and the County of Los Angeles in their development of performance standards for the County's ESG program that provide a measure to evaluate each subrecipients' effectiveness, such as how well the service provider succeeds at 1) targeting those who need the assistance most; 2) reducing the number of people living on the streets or emergency shelters; 3) shortening the time people spend homeless; and 4) reducing each program participant's housing barriers or housing stability risks. In addition, the City will continue its participation in the regional Antelope Valley Homeless Coalition (AVHC) to address issues such as basic needs services, crisis/bridge/interim housing, healthcare/primary care/behavioral health, permanent supportive housing, role of faith-based organizations, collaboration and coordination, management/accountability/implementation and systems level. This partnership provides a coordinated effort, in conjunction with the LAHSA, for funding and the study of a variety of issues related to the homeless population, housing needs, public services, and overall enhancement of the region's CoC.

2. Describe Agencies, groups, organizations and others who participated in the process and describe the jurisdictions consultations with housing, social service agencies and other entities

1	Agency/Group/Organization	Housing Rights Center
	Agency/Group/Organization Type	Service-Fair Housing
	What section of the Plan was addressed by Consultation?	Housing Need Assessment Public Housing Needs Homeless Needs - Chronically homeless Homeless Needs - Families with children Homelessness Needs - Veterans Homelessness Needs - Unaccompanied youth Homelessness Strategy
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
2	Agency/Group/Organization	American Association of University Women
	Agency/Group/Organization Type	Services - Women
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
3	Agency/Group/Organization	City of Santa Clarita
	Agency/Group/Organization Type	Other Government - Local
	What section of the Plan was addressed by Consultation?	Housing Need Assessment Public Housing Needs Homeless Strategy Non-Homeless Special Needs Economic Development Anti-Poverty Strategy
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach, the web-based survey.

4	Agency/Group/Organization	Latin American Civic Association
	Agency/Group/Organization Type	Regional Organization
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach, the web-based survey.
5	Agency/Group/Organization	PLI Realty Inc.
	Agency/Group/Organization Type	For-Profit Business
	What section of the Plan was addressed by Consultation?	Housing Need Assessment Lead-Based Paint Strategy
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach, the web-based survey.
6	Agency/Group/Organization	City of Palmdale
	Agency/Group/Organization Type	Other Government - Local
	What section of the Plan was addressed by Consultation?	Housing Need Assessment Public Housing Needs Homeless Strategy Non-Homeless Special Needs Economic Development Anti-Poverty Strategy
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach, the web-based survey.
7	Agency/Group/Organization	Partners for Potential
	Agency/Group/Organization Type	Services – Persons with Disabilities
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach, the web-based survey.

8	Agency/Group/Organization	Bridge Housing
	Agency/Group/Organization Type	Housing Services - Housing
	What section of the Plan was addressed by Consultation?	Housing Need Assessment Public Housing Needs
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
9	Agency/Group/Organization	Los Angeles Homeless Services Authority
	Agency/Group/Organization Type	Services – Homeless Regional Organization
	What section of the Plan was addressed by Consultation?	Homeless Needs – Chronically Homeless Homeless Needs – Families with Children Homeless Needs – Veterans Homeless Needs – Unaccompanied Youth Homelessness Strategy
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
10	Agency/Group/Organization	Boy Scouts of America
	Agency/Group/Organization Type	Services - Children
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
11	Agency/Group/Organization	California Association of Realtors
	Agency/Group/Organization Type	Housing Services – Housing
	What section of the Plan was addressed by Consultation?	Housing Need Assessment Market Analysis
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.

12	Agency/Group/Organization	L.A. County Sheriff's Department
	Agency/Group/Organization Type	Agency – Emergency Management Other Government - County
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
13	Agency/Group/Organization	Habitat for Humanity
	Agency/Group/Organization Type	Housing Services - Housing
	What section of the Plan was addressed by Consultation?	Housing Need Assessment
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach, the web-based survey.
14	Agency/Group/Organization	County of Los Angeles Department of Public Health
	Agency/Group/Organization Type	Services – Health Health Agency Regional Organization
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
15	Agency/Group/Organization	The Breast Cancer Resource Center Inc.
	Agency/Group/Organization Type	Services – Health Health Agency
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.

16	Agency/Group/Organization	Step Up
	Agency/Group/Organization Type	Services – Homeless
	What section of the Plan was addressed by Consultation?	Homeless Needs – Chronically Homeless Homeless Needs – Families with Children Homeless Needs – Veterans Homeless Needs – Unaccompanied Youth Homelessness Strategy
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
17	Agency/Group/Organization	Foundation for Children’s Dental Health
	Agency/Group/Organization Type	Services – Children Services – Health
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
18	Agency/Group/Organization	North Los Angeles County Regional Center
	Agency/Group/Organization Type	Regional Organization
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
19	Agency/Group/Organization	College of the Canyons Foundation
	Agency/Group/Organization Type	Services – Education
	What section of the Plan was addressed by Consultation?	Institution of Higher Education
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.

20	Agency/Group/Organization	American Diabetes Association
	Agency/Group/Organization Type	Services – Health Health Agency Regional Organization
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development Medical Institution
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
21	Agency/Group/Organization	Jewish Vocational Services (Grow Office)
	Agency/Group/Organization Type	Services – Employment
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
22	Agency/Group/Organization	Antelope Valley Community Clinic
	Agency/Group/Organization Type	Services – Health Health Agency
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
23	Agency/Group/Organization	Greater Antelope Valley Economic Alliance
	Agency/Group/Organization Type	Services – Employment Regional Organization
	What section of the Plan was addressed by Consultation?	Economic Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.

24	Agency/Group/Organization	American Cancer Society
	Agency/Group/Organization Type	Services – Health Health Agency
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
25	Agency/Group/Organization	Antelope Valley America’s Job Center of California
	Agency/Group/Organization Type	Services – Employment Regional Organization
	What section of the Plan was addressed by Consultation?	Economic Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
26	Agency/Group/Organization	Antelope Valley Dream Center
	Agency/Group/Organization Type	Services – Food Distribution
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
27	Agency/Group/Organization	Antelope Valley Family YMCA
	Agency/Group/Organization Type	Services – Health
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.

28	Agency/Group/Organization	Antelope Valley High School District
	Agency/Group/Organization Type	Services – Education
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
29	Agency/Group/Organization	Antelope Valley Hospital
	Agency/Group/Organization Type	Services – Health Health Agency
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
30	Agency/Group/Organization	Antelope Valley Partners for Health
	Agency/Group/Organization Type	Services – Health Health Agency
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
31	Agency/Group/Organization	Antelope Valley Senior Center
	Agency/Group/Organization Type	Services – Elderly Persons
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.

32	Agency/Group/Organization	Antelope Valley Domestic Violence Council
	Agency/Group/Organization Type	Services – Victims of Domestic Violence
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
33	Agency/Group/Organization	Antelope Valley Edge
	Agency/Group/Organization Type	Services – Business Assistance
	What section of the Plan was addressed by Consultation?	Economic Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
34	Agency/Group/Organization	Antelope Valley College - Student Services
	Agency/Group/Organization Type	Services – Education Institution of Higher Education
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
35	Agency/Group/Organization	Bartz-Altadonna Community Health Center
	Agency/Group/Organization Type	Services – Health Health Agency
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.

36	Agency/Group/Organization	Boys & Girls Club of the Antelope Valley
	Agency/Group/Organization Type	Services – Children
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
37	Agency/Group/Organization	Care Net Women's Resource Center
	Agency/Group/Organization Type	Services – Health
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
38	Agency/Group/Organization	Children's Bureau
	Agency/Group/Organization Type	Services – Children
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
39	Agency/Group/Organization	City of Hope Antelope Valley
	Agency/Group/Organization Type	Services – Health Health Agency
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.

40	Agency/Group/Organization	Desert Haven Enterprises, Inc.
	Agency/Group/Organization Type	Services – Persons with Disabilities
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
41	Agency/Group/Organization	Easter Seals
	Agency/Group/Organization Type	Services – Persons with Disabilities
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
42	Agency/Group/Organization	Eastside Union School District
	Agency/Group/Organization Type	Services - Education
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
43	Agency/Group/Organization	Grace Resource Center
	Agency/Group/Organization Type	Services – Homeless
	What section of the Plan was addressed by Consultation?	Homeless Needs – Chronically Homeless Homeless Needs – Families with Children Homeless Needs – Veterans Homeless Needs – Unaccompanied Youth Homelessness Strategy
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.

44	Agency/Group/Organization	Hope of the Valley: Antelope Valley
	Agency/Group/Organization Type	Services – Homeless
	What section of the Plan was addressed by Consultation?	Homeless Needs – Chronically Homeless Homeless Needs – Families with Children Homeless Needs – Veterans Homeless Needs – Unaccompanied Youth Homelessness Strategy
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
45	Agency/Group/Organization	Innovation Education
	Agency/Group/Organization Type	Services - Education
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
46	Agency/Group/Organization	LA Family Housing
	Agency/Group/Organization Type	Services – Homeless
	What section of the Plan was addressed by Consultation?	Homeless Needs – Chronically Homeless Homeless Needs – Families with Children Homeless Needs – Veterans Homeless Needs – Unaccompanied Youth Homelessness Strategy
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
47	Agency/Group/Organization	LACOE Gain – Lancaster Office
	Agency/Group/Organization Type	Services – Employment
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.

49	Agency/Group/Organization	Lancaster School District
	Agency/Group/Organization Type	Services – Education
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
50	Agency/Group/Organization	Lost Angels Children's Project
	Agency/Group/Organization Type	Services – Education Services – Employment
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
51	Agency/Group/Organization	Mental Health America of Los Angeles
	Agency/Group/Organization Type	Services – Persons with Disabilities
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
52	Agency/Group/Organization	Paving the Way Foundation
	Agency/Group/Organization Type	Services – Health Services – Education Services – Employment
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.

53	Agency/Group/Organization	Penny Lane Centers
	Agency/Group/Organization Type	Services – Children Services – Persons with Disabilities Services – Victims of Domestic Violence Services - Employment
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
54	Agency/Group/Organization	Project Joy USA
	Agency/Group/Organization Type	Services – Children Services – Education Services - Employment
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
55	Agency/Group/Organization	Salvation Army
	Agency/Group/Organization Type	Services – Health Services – Homeless
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
56	Agency/Group/Organization	Streetplus
	Agency/Group/Organization Type	Services – Neighborhood Stabilization
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.

57	Agency/Group/Organization	The Catalyst Foundation
	Agency/Group/Organization Type	Services – Persons with HIV/AIDS Services - Homeless
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
58	Agency/Group/Organization	The Children’s Center of Antelope Valley
	Agency/Group/Organization Type	Services – Children Services - Education
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
59	Agency/Group/Organization	The People Concern
	Agency/Group/Organization Type	Services – Housing Services - Homeless
	What section of the Plan was addressed by Consultation?	Homeless Needs – Chronically Homeless Homeless Needs – Families and Children Homelessness Needs – Veterans Homelessness Needs – Unaccompanied Youth Homelessness Strategy
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.

60	Agency/Group/Organization	Valley Oasis
	Agency/Group/Organization Type	Services – Victims of Domestic Violence Services - Homeless
	What section of the Plan was addressed by Consultation?	Homeless Needs – Chronically Homeless Homeless Needs – Families and Children Homelessness Needs – Veterans Homelessness Needs – Unaccompanied Youth Homelessness Strategy
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
61	Agency/Group/Organization	Volunteers of America
	Agency/Group/Organization Type	Housing Services – Housing Services – Children Services – Persons with Disabilities Services - Homeless
	What section of the Plan was addressed by Consultation?	Homeless Needs – Chronically Homeless Homeless Needs – Families and Children Homelessness Needs – Veterans Homelessness Needs – Unaccompanied Youth Homelessness Strategy Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
62	Agency/Group/Organization	Wesley Health Centers
	Agency/Group/Organization Type	Services – Health Health Agency
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.

63	Agency/Group/Organization	Westside Union School District
	Agency/Group/Organization Type	Services - Education
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
64	Agency/Group/Organization	YWCA
	Agency/Group/Organization Type	Services – Children Services – Health
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
65	Agency/Group/Organization	Girls Scout of Great Los Angeles
	Agency/Group/Organization Type	Services - Children
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
66	Agency/Group/Organization	Cub Scouts Pack #614
	Agency/Group/Organization Type	Services - Children
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.

67	Agency/Group/Organization	St. Vincent De Paul
	Agency/Group/Organization Type	Services - Homeless
	What section of the Plan was addressed by Consultation?	Homeless Needs – Chronically Homeless Homeless Needs – Families and Children Homelessness Needs – Veterans Homelessness Needs – Unaccompanied Youth Homelessness Strategy
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.
68	Agency/Group/Organization	Carousel Ranch, Inc.
	Agency/Group/Organization Type	Services – Persons with Disabilities
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The organization was consulted by email outreach and the web-based survey.

Table 3 - Agencies, groups, organizations who participated

Identify any Agency Types not consulted and provide rationale for not consulting

The City maintains a list of agencies, organizations and other stakeholders that have expressed an interest in the City’s CDBG and HOME programs and invited representatives from each entity to participate at multiple points in the planning process. All agencies were strongly encouraged to attend meetings and participate in surveys. Any agency or organization that was not consulted and would like to be included in the City’s list of stakeholders, the agency or organization may contact the Department of FIT at (661) 723-6158.

Other local/regional/state/federal planning efforts considered when preparing the Plan

Name of Plan	Lead Organization	How do the goals of your Strategic Plan overlap with the goals of each plan?
Continuum of Care	LAHSA	The County of Los Angeles is a CoC applicant and conducts homeless counts, surveys of the homeless population, and strategic planning to end homelessness. Consistent with the goals of the CoC, the City's Strategic Plan will provide support to nonprofits that meet the social services needs of the City's residents with an emphasis on the homeless.
Housing Element	City of Lancaster	Based on the Regional Housing Needs Allocation (RHNA) set for by the State of California, The Housing Element is the City's chief policy document for the development of affordable and market rate housing. Consistent with this policy document, the City will maintain and enhance the quality of existing residential neighborhoods, promote and encourage fair housing opportunities for all economic segments of the community, regardless of age, sex, ethnic background, physical condition, or family size.
Lancaster Community Homelessness Plan (LCHP)	City of Lancaster	The City prepared a Homelessness Plan in August 2018 to gain a better understanding of homelessness in the City, the issues that contribute to homelessness, the makeup of the homeless population in the City, and identify goals and strategies to address homelessness and the associated impacts. The LCHP aims to decrease the number of persons experiencing homelessness in the City, reduce the impact of homelessness within the City, align City resources with County investments, through a regional approach, and improve quality of life for all residents. The objectives of the Plan are to align efforts with the County's Homeless Initiatives, consider a true balanced approach (for the entire community), provide equal placement of attention on public safety and community vitality, seek a collaborative approach, and engage the community.
ADA Self-Evaluation and Transition Plan	City of Lancaster	The City's Americans with Disabilities Act (ADA) Self-Evaluation and Transition Plan (June 2015) was prepared to partially fulfill the requirements set forth in Title II of the Americans with Disabilities Act. The ADA states that a public entity must reasonably modify its policies, practices, or procedures to avoid discrimination against people with disabilities. The report assists the City to identify policy, program, and physical barriers to accessibility and to develop barrier removal solutions that will facilitate the opportunity of access to all individuals.

Table 4 - Other local / regional / federal planning efforts

Describe cooperation and coordination with other public entities, including the State and any adjacent units of general local government, in the implementation of the Consolidated Plan (91.215(l))

To enhance coordination among the CoC, public and assisted housing providers and private and governmental health, mental health and service agencies, the City invited each of these entities to provide input on the needs of the community in the development of its Consolidated Plan.

The City works with subrecipients of CDBG funds to ensure a coordinated effort among service agencies in the region to address the needs of the City's residents, including but not limited to, chronically homeless individuals and families, families with children, veterans and their families, unaccompanied youth, and persons who were recently homeless but now living in permanent housing. To promote economic opportunities for low-income residents, the City coordinates with subrecipient social service agencies, businesses and housing developers to ensure that where there are job opportunities for low-income people in connection with HUD-assisted projects, information is disseminated through appropriate channels consistent with the objectives of Section 3 of the Housing and Community Development Act of 1968.

Narrative

Broadband

The City is an urbanized community with easy access to broadband services throughout the City. Per BroadbandNow, the City is served by 21 internet service providers with 427 verified Internet plans since 2014. DSL and cable are the primary broadband types around the City's metro area. Most affordable housing developments in California requires multiple layers of funding sources, such as Low-Income Housing Tax Credits (LIHTC) and HUD funds. These programs either mandate or encourage broadband services. All affordable housing developments in the City have access to broadband services. However, to address consultation requirements regarding broadband, the City coordinated with some of its main service providers including but not limited to Spectrum, Frontier, AT&T, and Earthlink to aid in narrowing the digital divide. While broadband is available through multiple providers in the City resulting in increased competition, costs may remain excessive for some of the City residents. For this reason, access to high-speed broadband at affordable rates remains a need in the City, especially since COVID-19 which required immediate access to information to ensure individuals were compliant with social distancing requirements to safeguard against immediate infection and school closures which required students to learn from home. The City has most recently worked with HP Communications, Inc and Race Communications in completing micro-trenching throughout the City to expand their network and high-speed fiber internet at affordable rates for low-income individuals and families.

Resilience

Flooding - Floods occur when there is too much water on the ground to be held within local water bodies (streams, lakes, retention/detention areas), causing water to accumulate in naturally dry areas. The City's Safety Element of the General Plan identifies locations within the city that are susceptible to flooding. However, due to the relatively flat nature of the City, the majority of the City is not subject to this hazard. The

National Flood Insurance Program (NFIP) was created in 1968 to help communities adopt more effective floodplain management programs and regulations. The City consulted with FEMA, who is responsible for implementing the NFIP and approves the floodplain management plans for participating cities and counties. The City participates in the NFIP and uses Chapter 17, Title 40, Section 190 of the City's Municipal Code to administer flood management regulations. During the consultation process with FEMA and County Flood Control District, the following goals were identified to help to reduce flood impacts:

- Minimize the potential for loss of life, physical injury, property damage, and social disruption resulting from a FEMA 100-year flood.
- Require structures designed for human occupancy with the 100-year floodplain to comply with the City's floodplain ordinance.
- Retain undeveloped or vacant land within the 100-year floodplains as very low-density rural uses or open space uses where plans for the construction of flood control facilities are absent.
- Require development, redevelopment, or major remodels to reduce on-site drainage flows below existing levels and increase groundwater recharge where appropriate.
- Design storm drainage infrastructure to accommodate existing and anticipated storm flows associated with changing climatic conditions.

Water Resources - Several years ago, leaders and agencies in the Antelope Valley Region recognized the need for regional cooperation and planning. To represent the broad interests within the Antelope Valley Region, a number of organizations joined to form a Regional Water Management Group (RWMG) to work together and create this IRWM Plan. Members of the RWMG include the Antelope Valley-East Kern Water Agency (AVEK), Antelope Valley State Water Contractors Association (AVSWCA), City of Lancaster, City of Palmdale, Littlerock Creek Irrigation District, Los Angeles County Sanitation District (LACSD) Nos. 14 and 20, Los Angeles County Waterworks District No. 40 (LACWD 40), Palmdale Water District (PWD), Quartz Hill Water District (QHWD), and Rosamond Community Services District (RCSD). These 11 public agencies signed a Memorandum of Understanding (MOU) to define what their roles and responsibilities are in developing and moving forward with implementation of the AV IRWM Plan. The decision-making structure of the MOU provides the RWMG with the responsibility to make formal decisions regarding the scope and content of the AV IRWM Plan. These agencies agreed to contribute funds to help develop the AV IRWM Plan, provide and share information, review and comment on drafts, adopt the final AV IRWM Plan, and assist in future grant applications for the priority projects identified in the Plan. (2019 AV IRWM Plan). The 2019 AV IRWM Plan identified the following goals:

- How to reliably provide the quantity and quality of water that will be demanded by a growing population.
- Options to satisfy agricultural users' demand for reliable supplies of reasonable cost irrigation water.
- Opportunities to protect, enhance, and manage current water resources and the environmental resources for human and natural benefit within the Antelope Valley Region.

The AV IRWM Plan also identified the following issues and needs:

- Concern for meeting water quality regulations.
- Closed basin with no outfall for discharge.
- Must provide wastewater treatment for growing population.

Emergency - Emergency preparedness involves considerations beyond identifying the hazards themselves. The maintenance of a comprehensive disaster preparedness plan and the ability to implement that plan is critical to residents' and businesses' safety during an emergency. The Emergency Operations Plan (EOP) is primarily responsible for informing the City's emergency management strategies. These strategies are typically organized under four categories: mitigation, preparedness, response, and recovery. During consultation with Los Angeles County Sheriff's Department, Los Angeles County Fire Department, Antelope Valley Community Emergency Response TEAM (CERT), it was determined that:

- Emergency management and disaster preparedness, especially in the event of an earthquake, must be prioritized, as supplies and aid from outside the city may take several days to arrive.
- New developments will be required to have adequate circulation networks and meet local and State requirements for ingress/egress and evacuation needs.
- The City's EOP shall meet Standardized Emergency Management System (SEMS) and National Incident Management System (NIMS) requirements and coordinate with neighboring jurisdictions and the Operational Area to prepare, respond, and recover from emergency situations.
- Roadway capacity improvements will prioritize routes identified for evacuation and emergency response.
- The continued importance of training and exercises coupled with incorporating best practices and new technologies will better prepare the City to respond to emergency situations.
- The importance of continuing to provide educational programs and information to the public regarding emergency preparedness helps keep these important issues top-of-mind.
- Addressing challenges and constraints within the County regarding differences in jurisdictional requirements, lane reductions, different roadway standards, road maintenance responsibilities, and coordination of activities can create challenges for evacuation.

AP-12 Participation – 91.105, 91.200(c)

1. Summary of citizen participation process/Efforts made to broaden citizen participation

The City encourages citizens to participate in the development of the five-year Consolidated Plan, as well as the AAP and the proposed use of CDBG and HOME funds. City staff developed a detailed participation process for the 2020-2024 Consolidate Plan. As required by HUD, nonprofits and community residents were provided adequate opportunity to review and comment on the original Citizen Participation Plan (CPP) and on substantial amendments to the plan, as necessary.

Citizens were engaged through community meetings, surveys, public hearings, and individual meetings. Citizens who participated in the process received extensive information about the Consolidated Plan, the citizen participation process, the HUD requirements for an entitlement City, the amount of funding that the City anticipates receiving and how those funds can be used by the City. Residents were given the opportunity to provide City staff with their input on the prioritization of community needs. Each of these efforts, including review of HUD Data and relevant policy documents, assisted the City in its goal setting efforts.

To fully involve the public in the AAP process, a public comment/review period notice outlining the proposed use of funds for the AAP for the 2023-2024 program year was published April 5, 2023, allowing a 30-day review/comment period ending May 9, 2023. This notice was made in compliance with HUD guidelines and the City's approved CPP. No comments were received during the public comment/review period. In addition, a public hearing was held May 9, 2023, to receive public comment on the proposed 2023-2024 AAP and receive City Council action. No comments were received during the public hearing held on May 9, 2023.

Citizen Participation Outreach

Sort Order	Mode of Outreach	Target of Outreach	Summary of Response/attendance	Summary of Comments received	Summary of comments not accepted and reasons	URL (If applicable)
1	Newspaper Ad	Non-Targeted/ Broad Community	Notice of Public Hearing in the Antelope Valley Press on November 8, 2022, inviting interested residents to express their views concerning housing and community development needs, priority non-housing community development needs, proposed strategies and actions for affirmatively furthering fair housing, the development of proposed activities, a review of program performance and respond to proposals for questions.	Not applicable.	Not applicable.	Not applicable.
2	Public Hearing	Minorities Non-English Speaking - Specify other language: Spanish Persons with Disabilities Non-Targeted/Broad Community Residents of Public and Assisted Housing	Public hearing before the City Council on December 13, 2022, to receive comments from residents expressing their views concerning housing and community development needs, priority non-housing community development needs, proposed strategies and actions for affirmatively furthering fair housing, the development of proposed activities, a review of program performance and respond to proposals for questions.	No comments were received.	No comments were received.	Not applicable

Sort Order	Mode of Outreach	Target of Outreach	Summary of Response/attendance	Summary of Comments received	Summary of comments not accepted and reasons	URL (If applicable)
3	Newspaper Ad	Non-Targeted/ Broad Community	Notice of the 30-day public review and comment period for the draft 2023-2024 AAP. The public notice invited interested residents to review the draft documents. Residents were also invited to a public hearing to provide oral comments before the City Council on May 9, 2023.	Not applicable.	Not applicable.	Not applicable.
4	Internet Outreach	Non-Targeted/ Broad Community	The 2023-2024 AAP was posted on the City's website for public review on April 7, 2023. The public notice solicited residents & stakeholders to review the draft AAP to provide written comments by May 9, 2023.	No public comments received.	No public comments received.	https://www.cityoflancastr.ca.org/our-city/departments-services/housing-neighborhood-revitalization/cdbg-community-development-block-grant

Sort Order	Mode of Outreach	Target of Outreach	Summary of Response/attendance	Summary of Comments received	Summary of comments not accepted and reasons	URL (If applicable)
5	Public Hearing	Minorities Non-English Speaking - Specify other language: Spanish Persons with Disabilities Non-Targeted/Broad Community Residents of Public and Assisted Housing	Public hearing before the City Council on May 9, 2023, to receive comments on the draft 2023-2024 AAP prior to adoption and submission to HUD.	No comments were received.	No comments were received.	Not applicable

Table 5 – Citizen Participation Outreach

Expected Resources

AP-15 Expected Resources – 91.220(c)(1,2)

Introduction

The Strategic Plan goals included in the City's Consolidated Plan were based on resources that were reasonably anticipated to be available to the City from federal, state, local and private sources from July 1, 2020, through June 30, 2025. The actual resources available to support activities during the implementation of the Consolidated Plan may vary significantly due to factors outside of the City's control. For example, HUD formula grant allocations are subject to change each year based on a number of factors such as the amount of the national appropriation, changes in ACS population data applied to the CPD grant formulas, statutory changes to the CPD grant formulas, the addition or removal of entitlements receiving a particular CPD grant and the availability of reallocated funds. Additionally, state, local and private resources will vary significantly depending on economic conditions.

At the time of the preparation of this draft document, HUD has released the City's 2023-2024 annual allocations for the CDBG and HOME programs. This AAP for FY 2023 (July 1, 2023, through June 30, 2024) is the fourth year of implementation for the five-year Consolidated Plan. A number of housing and community development resources are currently available in the City. They include:

- HOME Investment Partnership Program (HOME)
- Community Development Block Grant (CDBG)
- General funds
- HUD Section 8 Rental Assistance Program (through LACDA)

On May 9, 2023, the City approved the 2023-2024 AAP allocating \$1,463,022 and \$724,611 in CDBG and HOME funds, respectively.

Anticipated Resources

Program	Source of Funds	Uses of Funds	Expected Amount Available Year 4				Expected Amount Available Remainder of ConPlan \$	Narrative Description
			Annual Allocation: \$	Program Income: \$	Prior Year Resources: \$	Total: \$		
CDBG	Public - Federal	Acquisition Admin and Planning Economic Development Housing Public Improvements Public Services	\$1,463,022	\$0	\$0	\$1,463,022	\$1,463,022	The expected amount available for the remainder of the Consolidated Plan period assumes level funding in future years.
HOME	Public - Federal	Acquisition Homebuyer Assistance Homeowner Rehab Multifamily Rental New Construction Multifamily Rental Rehab New Construction for Ownership TBRA	\$724,611	0	\$0	\$724,611	\$724,611	The expected amount available for the remainder of the Consolidated Plan period assumes level funding in future years.

Table 6 - Expected Resources – Priority Table

Explain how federal funds will leverage those additional resources (private, state and local funds), including a description of how matching requirements will be satisfied

The City and HUD share an interest in leveraging HUD resources to the maximum extent feasible to deliver high-quality, creative and efficient housing programs, neighborhood improvement programs, supportive services and economic development programs. During the 2023-2024 program year, the City will leverage its CDBG and HOME entitlement grants with a variety of funding resources in order to maximize the effectiveness of available funds. The City and its development partners will continue to seek new opportunities to leverage federal funds, such as the Low Income Housing Tax Credit (LIHTC) program and other State of California resources including but not limited to:

Federal Resources

- Continuum of Care (CoC) Program
- HUD Veterans Affairs supportive Housing (HUD-VASH)
- Supportive Housing for the Elderly (Section 202)
- Supportive Housing for Persons with Disabilities (Section 811)
- Housing Opportunities for Persons with AIDS (HOPWA)
- Youthbuild
- Federal Low-Income Housing Tax Credit Program
- Department of Transportation Grants
- Department of Energy Grants
- Federal Highway Administration
- Emergency Solutions Grant
- HOME Investment Partnerships
- CARES Act
- Project Homekey

State Resources

- State Low-Income Housing Tax Credit Program
- Building Equity and Growth in Neighborhoods Program (BEGIN)
- CalHome Program
- Multifamily Housing Program (MHP)
- Housing Related Parks Grant
- CalHFA Single and Multi-Family Program
- Mental Health Service Act (MHSA) Funding
- Prop 47 – Board of State & Community Corrections
- Justice Assistance Grant (JAG) Program
- Homeless Emergency Aid Program (HEAP)
- Project Roomkey

Local Resources

- Los Angeles County CoC
- LACDA
- Southern California Home Financing Authority (SCHFA)
- General Fund

Private Resources

- Federal Home Loan Bank Affordable Housing Program (AHP)
- Community Reinvestment Act Programs
- United Way Funding
- Private Contributions

In addition, the City is a current recipient of HOME American Rescue Plan (HOME ARP) funds which will go towards funding activities that help facilitate the City's recovery from the devastating economic and health effects of the COVID-19 pandemic. The City has recent allocated these funds via a Substantial Amendment to the 2021-2022 AAP.

HOME Matching Requirements

HUD requires HOME recipients (PJs) to match 25 percent of their HOME annual allocation. In accordance with 24 CFR 92.222, PJs satisfying the distress criteria established by the HOME Program regulations are provided a match reduction. The match reductions are granted due to fiscal distress, severe fiscal distress, and Presidential disaster declarations. For those PJs with both fiscal distress and Presidential disaster match reductions, the PJ may take the higher match reduction for the current fiscal year.

When a local jurisdiction meets one of the distress criteria, it is determined to be in fiscal distress and receives a 50 percent reduction of match. If a local jurisdiction satisfies both distress criteria, it is determined to be in severe fiscal distress and receives a 100 percent reduction of match. The City has received a 100 percent match reduction from HUD, and therefore, is required to match 0 percent of HOME Funds using non-federal funds.

The City leverages HOME funds with other local and private non-federal resources even though it has received a 100 percent match reduction from the 25 percent matching requirement. Any funds that are used in a HOME activity in excess of the required match will be documented by the City and reported to HUD as part of the Consolidated Annual Performance and Evaluation Report (CAPER) each year.

If appropriate, describe publicly owned land or property located within the jurisdiction that may be used to address the needs identified in the plan

In the early 2000s, the Lancaster Redevelopment Agency began purchasing numerous properties in the core of the City using low- and moderate-income housing funds. Post redevelopment dissolution, the Lancaster Housing Authority began the process of revitalization of some of these properties by demolishing dilapidated

buildings, clearing the land, and preparing sites for affordable housing. Within the past few years, the Authority has been soliciting request for proposals (RFP) from qualified firms or individuals to acquire and develop affordable housing on Housing Authority owned land. By the end of the 2023-2024 program year, the Housing Authority will solicit additional RFPs for the acquisition and development of affordable housing on approximately 40 acres covering several Housing Authority owned sites. The City is a recent awardee of HOME ARP funds from HUD. Through the City's HOME ARP, the City has allocated all non-administration and planning funds totaling \$2,082,945, for construction of affordable housing towards one (1) of the Housing Authority owned sites. Should the City decide to change course slightly, the City may look at reallocating HOME ARP funds for the potential acquisition of land(s) or property(ies) with the intent to construct, rehabilitate and/or convert into affordable rental housing or transitional/emergency shelter to qualified populations and low-income residences.

As of the date of this document, the City has entered into a Development and Disposition Agreement (DDA) with Bridge Housing Corporation for the City's Housing Neighborhood Revitalization (HNR-1) property located at the Southwest corner of Avenue I and Sierra Highway. The development anticipates constructing 114 units, of which 113 units will be income restricted. Grading for the development is scheduled to commence in the spring of 2023, with units being occupied by the end of 2025. The development is the start of many other developments the City will be pursuing to increase the availability of affordable housing throughout the City. Other properties include but are not limited to:

- HNR 3: Located at the northeast corner of Division Street and Avenue I. The project is a Residentially Planned Development for 164 single-family lots.
- HNR 4: Located at the west side of Sierra Highway between Avenue H and H-13. The project consists of a residential development for 323 single-family units, 2detention areas, and a linear green belt.
- HNR 5: Located on the west side of 10th Street Wes between H-8 and H-11. The project consists of 10 single-family units, each with a detached accessory dwelling unit.
- HNR 6: Located at the northeast corner of Avenue J-2 and Beech Avenue. The project consisted of a 32-unit apartment complex.
- HNR 7: Located at the southeast corner of Newgrove Street and Beech Avenue. The project consists of a 11,076 sq. ft. 12-unit apartment complex.
- HNR 8: Located along Avenue H-13 between 3rd and 4th Street East. The project consists of eight (8) single-family homes and is envisioned for development along with the adjacent HNR 3 for economies of scale.
- HNR 9: Located along the east side of Beech Avenue between Avenue J-6 and J-7. The project consists of a 36-unit apartment complex.

Discussion

During July 2023 and June 2024, the City will rely on other public and private funding, including but not limited to:

- Low-Income Housing Tax Credits
- Project-based Section 8 certificates
- Project financing at favorable interest rates from local lenders
- Private contributions to local CHDOs
- Private market real estate investments
- Market rate housing that subsidizes affordable units on the same development site

to enhance the availability, affordability, and sustainability of affordable housing within the community.

Annual Goals and Objectives

AP-20 Annual Goals and Objectives

Goals Summary Information

Sort Order	Goal Name	Start Year	End Year	Category	Geographic Area	Needs Addressed	Funding	Goal Outcome Indicator
1	Increase the Supply of Affordable Housing	2023	2024	Affordable Housing	City Wide	Affordable Housing	HOME: \$108,692	Other: 1
2	Improve and Expand Facilities and Infrastructure	2023	2024	Non-Housing Community Development	City Wide/ Eligible Census Tracts	Facilities and Infrastructure	CDBG: \$385,891	Public Facility or Infrastructure Activities other than Low/Moderate Income Housing Benefit: 123 Persons Assisted Other: 2
3	Provide Supportive Human Services	2023	2024	Homeless Non-Homeless Special Needs	City Wide	Supportive Human Services	CDBG: \$219,453	Public service activities other than Low/Moderate Income Housing Benefit: 140 Persons Assisted
4	Planning and Administration	2023	2024	Non-Housing Community Development	City Wide	Planning and Administration	CDBG: \$252,604 HOME: \$72,461	Other: 2
5	Fair Housing (Admin Cap)	2023	2024	Non-Housing community Development Homeless Non-Homeless Special Needs	Citywide	Supportive Human Services	CDBG: \$40,000	Public service Activities other than Low/Moderate Income Housing Benefit: 300 Persons Assisted
6	Affordable Housing Preservation	2023	2024	Affordable	Citywide	Affordable Housing	CDBG: \$565,074	Homeowner Housing Rehabilitated: 12 Household Housing Units
7	Promote Homeownership Opportunities	2023	2024	Affordable Housing	Citywide	Affordable Housing	HOME: \$543,458	Direct Financial Assistance to Homebuyers: 4 households assisted

Table 7 – Goals Summary

Goal Descriptions

1	Goal Name	Increase the Supply of Affordable Housing
	Goal Description	The City will increase its supply of affordable housing for low- and moderate-income residents through new construction.
2	Goal Name	Improve and Expand Facilities and Infrastructure
	Goal Description	Through various capital improvement projects, the City will improve and expand parks and recreation facilities that benefit low- and moderate-income neighborhoods and residents. The City will also improve and expand ADA access for persons with disabilities.
3	Goal Name	Provide Supportive Human Services
	Goal Description	Improve supportive human services for low- and moderate-income persons in the following areas of concentration service: Homeless, Youth, Legal, Senior, Disabled, Health and Mental/Health, Transportation, Childcare, Victims of Domestic Violence, Substance Abuse, Neglected/Abused Children, HIV/AIDS, and Anti-Crime.
4	Goal Name	Planning and Administration
	Goal Description	Plan and administer expenditure of HOME and CDBG funds.
5	Goal Name	Fair Housing Services
	Goal Description	Affirmatively further fair housing choice through the provision of fair housing education, counseling, anti-discrimination and landlord-tenant mediation services.
6	Goal Name	Affordable Housing Preservation
	Goal Description	Preserve the quality of existing owner-occupied dwellings housing units through rehabilitation including lead-based paint education, inspection, testing and abatement.
7	Goal Name	Promote Homeownership Opportunities
	Goal Description	Provide mortgage assistance to create affordable homeownership opportunities for low- and moderate-income households.

Estimate the number of extremely low-income, low-income, and moderate-income families to whom the jurisdiction will provide affordable housing as defined by HOME 91.315(b)(2)

In accordance with the City's goal to Preserve Affordable Housing and Promote Homeownership Opportunities, the City anticipates serving 16 extremely-low- or low-income households with financial assistance towards rehabilitating their existing home and purchasing their home. HOME-assisted units shall meet the requirements of 24 CFR 92.254.

AP-35 Projects – 91.220(d)

Introduction

During the 2023-2024 program year, the City will receive \$1,463,022 in CDBG funds and \$724,611 in HOME funds. To address the high priority needs identified in the Strategic Plan to the Consolidated Plan, the City will invest funds in projects that will increase the supply of affordable housing, preserve affordable housing, promote homeownership of affordable housing, provide fair housing services, provide public services and improve public facilities and infrastructure for low-income residents. Together, these projects will address the housing, community and economic development needs of the City’s residents-particularly those residents residing in the low- and moderate-income areas.

Projects

#	Project Name
1	Increase the Supply of Affordable Housing
2	Improve and Expand Facilities and Infrastructure
3	Provide Supportive Human Services
4	Planning and Administration
5	Fair Housing (Admin CAP)
6	Affordable Housing Preservation
7	Promote Homeownership Opportunities

Table 8 - Project Information

Describe the reasons for allocation priorities and any obstacles to addressing underserved needs

Based on the Strategic Plan, the City is allocating 100 percent of its CDBG funds (excluding Section 108 Loan Repayments and Administration) and HOME funds (excluding HOME Administration) for program year 2023 to projects and activities that benefit low- and moderate-income people. Due to the nature of the projects and activities to be undertaken, investments in all projects concerning Public Facilities and Infrastructure Improvements, Public Service and Affordable Housing activities will be available citywide.

The primary obstacles to meeting the underserved needs of low- and moderate-income people include lack of funding from federal, state and other local sources, the high cost of housing that is not affordable to low-income people and the lack of availability of home improvement financing in the private lending industry. In addition, cities across California are grappling with ramifications of Assembly Bill 1X26, which, in conjunction with a December 2011 California Supreme Court decision, eliminated RDAs and the associated diversion of property tax increment revenue to RDAs (known as tax increment or redevelopment funds). Redevelopment funds have represented one of the largest funding sources for affordable housing in California (redevelopment law required that 20 percent of the funds must be spent for affordable housing) and were utilized to revitalize blighted areas and foster economic development in redevelopment project areas.

To address these obstacles, the City is investing CDBG and HOME funds through the 2023-2024 AAP in projects that will be used to increase the supply of affordable housing, preserve affordable housing, promote homeownership, furthering fair housing, provide for public facilities and infrastructure improvements, and provide public services to low- and moderate-income residents.

AP-38 Project Summary

Project Summary Information

1	Project Name	Increase the Supply of Affordable Housing
	Target Area	Citywide
	Goals Supported	Affordable Housing
	Needs Addressed	Affordable Housing
	Funding	HOME: \$108,692
	Description	The City will increase its supply of affordable housing for low- and moderate-income residents through new construction.
	Target Date	06/30/2024
	Estimate the number and type of families that will benefit from the proposed activities	Other - 1
	Location Description	Citywide
	Planned Activities	CHDO Set Aside (Other – 1) - \$108,692: The City will conduct a public hearing to amend the AAP once a suitable project is identified.

2	Project Name	Improve and Expand Facilities and Infrastructure
	Target Area	Citywide
	Goals Supported	Non-Housing Community Development
	Needs Addressed	Facilities and Infrastructure
	Funding	CDBG: \$385,891
	Description	Through various capital improvement projects, the City will improve and expand parks and recreation facilities that benefit low- and moderate-income neighborhoods and residents. The City will also improve and expand ADA access for persons with disabilities.
	Target Date	06/30/2024
	Estimate the number and type of families that will benefit from the proposed activities	123 Persons Assisted Other - 2
	Location Description	Activities will be conducted in areas that qualify as low- or moderate – income areas or otherwise presumed to benefit low – or moderate – income persons.
	Planned Activities	<p>The Children’s Center of the Antelope Valley – Transitionally Age Youth (TAY) Drop-In Center Facility Construction (123 Persons Assisted) - \$175,000: Funds will be used for the construction of a new building that would expand on TAY service branch to create program resources to TAY ages 16-25. The construction of this new building will increase capacity, resources, vocational training and build a more resilient community beginning with engagement with TAY, that include trauma informed initiatives.</p> <p>Section 108 Loan Repayment – Children’s Center (Other – 1) - \$107,463: Funds will be used to repay a loan that was used to acquire property for the new site within the City.</p> <p>Section 108 Loan Repayment – Mental Health America (Other – 1) - \$103,428: Funds will be used to repay a loan that was used to acquire property for the new site of the Antelope Valley Mental Health Association within the City.</p>

3	Project Name	Provide Supportive Human Services
	Target Area	Citywide
	Goals Supported	Non-Housing Community Development/Homeless/Non-Homeless/Special Needs
	Needs Addressed	Supportive Human Services
	Funding	CDBG: \$219,453
	Description	Improve supportive human services for low- and moderate-income persons in the following areas of concentration service: Homeless, Youth, Legal, Senior, Disabled, Health and Mental/Health, Transportation, Childcare, Victims of Domestic Violence, Substance Abuse, Neglected/Abused Children, HIV/AIDS, and Anti-Crime.
	Target Date	06/30/2024
	Estimate the number and type of families that will benefit from the proposed activities	140 Persons Assisted
	Location Description	Citywide
	Planned Activities	<p>Antelope Valley Medical Center Foundation – Forensic Services Unit (40 Persons Assisted) - \$80,000: The Program will provide public services and support to victims of crime, trauma and other suspicious injuries with one of the Program’s sexual assault nurse examiners who will conduct a forensic examination and collect evidence.</p> <p>Lancaster Homeless Group dba Street Company – Coffee Manufacturing Homeless Employment Program (20 Persons Assisted) - \$35,953: The Program will provide homeless adults residing in the City with 12-Week Job Readiness Program, permanent employment for homeless people working at Street Company and Casters Coffee Roasting social enterprise, and wraparound supportive services through partnering with other agencies.</p> <p>Lost Angels Children’s Project – Work Program (40 Persons Assisted) - \$83,500: The program will provide vocational training classes in classic car restoration social enterprise. Participants will learn welding, fabrication, bodywork, paint & prep, engine assembly, electrical, and composites.</p> <p>Care Net Women’s Resource Center – Ultrasound Expansion Project (40 Persons Assisted) - \$20,000: The Program will provide those facing pregnancy decisions, many of whom are low and moderate income (LMI), economically disadvantaged, impoverished, distressed, and even unhoused individuals, for whom getting pregnancy care can be a challenge with access to obtaining an ultrasound earlier in their pregnancy at no charge.</p>

4	Project Name	Planning and Administration
	Target Area	Citywide
	Goals Supported	Planning and Administration
	Needs Addressed	Non-Housing Community Development
	Funding	CDBG: \$252,604 HOME: \$72,461
	Description	Plan and administer expenditure of CDBG and HOME funds.
	Target Date	06/30/2024
	Estimate the number and type of families that will benefit from the proposed activities	Other - 2
	Location Description	Citywide
	Planned Activities	CDBG Administration (Other -1) - \$252,604 HOME Administration (Other - 1) - \$72,461

5	Project Name	Fair Housing Services (Admin CAP)
	Target Area	Citywide
	Goals Supported	Homeless/Non-Homeless/Special Needs
	Needs Addressed	Supportive Human Services
	Funding	CDBG: \$40,000
	Description	Affirmatively further fair housing choice through the provision of fair housing education, counseling, anti-discrimination and landlord-tenant mediation services. This activity will be paid out of the admin cap.
	Target Date	06/30/2024
	Estimate the number and type of families that will benefit from the proposed activities	300 Persons Assisted
	Location Description	Citywide
	Planned Activities	Fair Housing Foundation – Fair Housing Services (300 Persons Assisted) - \$40,000: The program will fulfill the HUD regulatory mandate to affirmatively further fair housing choice through the provision of fair housing education, counseling, anti-discrimination and landlord-tenant mediation services.

6	Project Name	Affordable Housing Preservation
	Target Area	Citywide
	Goals Supported	Affordable Housing
	Needs Addressed	Affordable Housing
	Funding	CDBG: \$565,074
	Description	Preserve the quality of existing owner-occupied dwellings housing units through rehabilitation including lead-based paint education, inspection, testing and abatement.
	Target Date	06/30/2024
	Estimate the number and type of families that will benefit from the proposed activities	12 Household Housing Units
	Location Description	Citywide
	Planned Activities	Home Rehabilitation Program (12 Household Housing Units) - \$565,074: The program will provide homeowners with the opportunity to make necessary improvements to their homes for emergency repairs (i.e., roof/heater replacements), code violations, mobile home repairs, and minor and major repairs.

7	Project Name	Promote Homeownership Opportunities
	Target Area	Citywide
	Goals Supported	Affordable Housing
	Needs Addressed	Affordable Housing
	Funding	HOME: \$543,458
	Description	Provide mortgage assistance to create affordable homeownership opportunities for low- and moderate-income households.
	Target Date	06/30/2024
	Estimate the number and type of families that will benefit from the proposed activities	4 Households Assisted
	Location Description	Citywide
	Planned Activities	Homebuyer Assistance Program (4 Households Assisted) - \$543,458: The program will provide income eligible homebuyers with financial assistance towards purchasing their home.

AP-50 Geographic Distribution – 91.220(f)

Description of the geographic areas of the entitlement (including areas of low-income and minority concentration) where assistance will be directed

The city has not established targeted neighborhoods for investment of HOME and CDBG funds. The geographic distribution of the City’s proposed projects for FY 2023-2024 are as follows:

- Supportive services are available citywide to low- and moderate-income residents, homeless persons, and persons with special needs.
- Park improvements, projects and ADA Transitional Plan Implementation will assist persons citywide. However, parks identified for improvements are mostly located in eligible Census Tract/Block Groups in which 51% of the population is low- and moderate-income.
- Fair housing services are available citywide.
- Affordable Housing Preservation and Homeownership Assistance is provided citywide.

Geographic Distribution

Target Area	Percentage of Funds
Citywide	100%

Table 9 - Geographic Distribution

Rationale for the priorities for allocating investments geographically

The priority needs identified in the City’s FY 2020 – FY 2024 Consolidated Plan form the basis for allocating investments geographically within the jurisdiction during FY 2023. The established priorities are:

High Priority

- Provide Decent and Affordable Housing
- Improve and Expand Facilities and Infrastructure
- Provide Supportive Human Services
- Planning and Administration

Discussion

The City is allocating 100 percent of its non-administrative CDBG funds for program year 2023-2024 to projects and activities that benefit low- and moderate-income people throughout the City.

AP-55 Affordable Housing – 91.220(g)

Introduction

Based on evaluation of 2011-2015 ACS and CHAS data, there is a high need for housing units affordable for low-income households and those severely cost burdened renters. Additionally, preservation of the physical and functional integrity of existing housing units occupied by low-and moderate-income households is a cost-effective way to invest limited resources to retain existing housing units that are already affordable to low-and moderate-income households in the community. Addressing substandard housing conditions through housing preservation activities provide that all economic segments of the community have the means to ensure that their property meets local standards and that all City residents have the opportunity to live in decent housing. For this reason, the City has placed a high priority on improving and increasing the supply of affordable housing during the 2020-2024 Five-Year Consolidated Plan period through housing preservation and homeownership opportunities. During the 2023-2024 program year, the City will invest a combined total of \$1,108,532 in CDBG and HOME funds to provide eligible households with financial assistance in completing home improvements and purchasing their first home. The City anticipates assisting approximately 12 households through its Home Rehabilitation Program and 4 households through its Homebuyer Assistance Program. In addition, the City has entered into a Development and Disposition Agreement (DDA) with Bridge Housing Corporation for the City’s Housing Neighborhood Revitalization (HNR-1) property located at the Southwest corner of Avenue I and Sierra Highway. The development anticipates constructing 114 units of which 113 units will be income restricted. Grading for the development is scheduled to commence in the spring of 2023, with units being occupied by the end of 2025. Please note, CDBG funds were used in prior years for site preparation and planning costs associated with the project. The City does not currently have any CDBG or HOME dollars set aside for construction costs for this development.

One Year Goals for the Number of Households to be Supported	
Homeless	0
Non-Homeless	16
Special-Needs	0
Total	16

Table 12 - One Year Goals for Affordable Housing by Support Requirement

One Year Goals for the Number of Households Supported Through	
Rental Assistance	0
The Production of New Units	0
Rehab of Existing Units	12
Acquisition of Existing Units	4
Total	16

Table 13 - One Year Goals for Affordable Housing by Support Type

Discussion

The City has identified a high priority need to increase the supply of affordable housing through housing preservation and homeownership assistance. During the 2023-2024 Program Year, the City will invest CDBG and HOME funds under its Home Rehabilitation Program and Homebuyer Assistance Program to provide financial assistance to 16 eligible extremely-low income households, low-income households, and moderate-income households.

On June 1, 2022, the City launched its First-Time Home Buyer Program which aims to help homebuyers with purchasing a home through a limited number of deferred payments; up to 33 percent (33%) of the purchase price, or the amount required to maintain a 40% front end ratio, or the program maximum of \$150,000; as well as a loan to be used for a portion of reasonable closing costs for which the applicant does not have sufficient resources. The City also plans to implement its Home Rehabilitation Program for the 2023-2024 Program Year. The program will aim to provide homeowners with financial assistance for emergency repairs, mobile home repairs, and minor and major repairs.

The City has determined that over the next 10 years (2021-2031), nine assisted developments that provide 661 affordable, multi-family units have expiring affordability covenants. The City's objective is to either retain or replace them as low-income housing all at risk units in the city. The community development department will implement the following programs on an ongoing basis to conserve its affordable housing stock:

- Maintain an inventory of affordable housing units citywide, with unit affordability information to ensure landlords are compliant with deed restrictions.
- Continue to monitor the status of subsidized affordable projects, rental projects, and mobile homes, when possible, to ensure long-term affordability.
- As needed, support funding applications to preserve at-risk units.
- Establish contact with public and nonprofit agencies interested in purchasing and/or managing units at-risk to inform them of the status of such projects. Where feasible, provide technical assistance and support to these organizations with respect to financing.
- Work with tenants of at-risk units and provide them with education regarding tenant rights and conversion procedures. Provide tenants in at-risk projects information regarding Housing Choice Voucher rent subsidies.

AP-60 Public Housing – 91.220(h)

Introduction

The Lancaster Housing Authority (LHA) was formed under State of California Housing Authority Law to actively improve existing neighborhoods and develop affordable housing opportunities using local, state and federal resources. The LHA does not administer Section 8 and does not own HUD Public Housing; however, the City is within the service area of the LACDA for the purposes of Section 8 and Public Housing.

The main difference between Section 8 and Public Housing is ownership and management of the properties. For Section 8, private landlords own the properties and accept Section 8 vouchers on behalf of their renters from the government. For Public Housing, the government owns and operates the properties. According to LACDA's Annual Plan for Fiscal Year 2023-2024, the Section 8 and Public Housing programs currently have a waiting list of 33,002 applicants and 24,094 applicants, respectively. The amount of time spent on the waiting list for each program varies but can be as long as 14 years for Section 8 and five (5) years for Public Housing.

As of the 2023-2024 program year, the LACDA administers 1,979 Project-Based Vouchers (PBV) across 54 properties. The LACDA has 1,988 additional PBVs in the pipeline across 43 projects, which are expected to become operational over the next 3 years. Approximately 477 of these PBVs were committed in 2022 through NOFA 27, and outside of the NOFA by way of a previous competition that allows the LACDA to issue PBVs in accordance with 24 CFR 983.51.

Actions planned during the next year to address the needs to public housing

LACDA will continue providing housing and public services to existing residents of the City. LACDA takes in feedback of residents collected through resident surveys distributed throughout the City to improve services.

During the 2023-2024 program year, LACDA is proposing the following major changes to the Public Housing and Section 8 Tenant-Based Program:

Public Housing

- Unit Transfers
- Conduct Annual Reexaminations Online Only
- Guaranteed Income Program Exclusion
- Notification to the U.S. Postal Service (USPS) Regarding Evicted Individuals
- Banning Former Residents
- Temporary Relocation Policy
- Non-Discrimination Policy Section

Section 8

- Reinstating the LACDA's 100 Percent Commitment to Homelessness
- Local Preferences and Priorities
- Family Unification Program, Foster Youth, Statutory Housing Limitation Extension of up to 12 Months
- Removal of the Moderate Rehabilitation Program and Enhanced Voucher Assistance Chapters
- Removal of the Family Self-Sufficiency Program Chapter

In addition, converting tenant-based vouchers to PBVs is necessary to increase the stock of affordable housing for special needs populations who face increasing barriers trying to find housing in the area's private rental market. For this reason, LACDA intends to undertake the following:

Project Based Vouchers

- The LACDA is planning to convert up to 450 additional tenant-based vouchers to PBVs, through NOFA 28, which allows the LACDA to commit PBVs in accordance with 24 CFR 983.51.
- The LACDA has awarded 442 additional PBVs through NOFA 27 to projects located in unincorporated Los Angeles, Altadena, Huntington Park, Cudahy, Lancaster, and Montebello. 100% of these projects are dedicated to housing the homeless, with subpopulations consisting of persons with mental illness, veterans, seniors, and victims of domestic violence.
- The LACDA has committed 35 project-based Veterans Affairs Supportive Housing (VASH) vouchers to an affordable housing development in Quartz Hill

Rental Assistance Demonstration (RAD)

- LACDA is in the process of analyzing options for converting Public Housing to RAD in order to leverage assets to maintain sites. Currently, the LACDA is reviewing the RAD conversion at a site-based level and preparing to meet with residents for the proposed RAD conversion. Applications for RAD will be submitted to HUD in FY 2023-2024.

Actions to encourage public housing residents to become more involved in management and participate in homeownership

The City provides a number of resources on services for foreclosure prevention and counseling. In addition, during the 2023-2024 AAP, the City will allocate \$543,458 in HOME funds towards its relatively new Homebuyer Assistance Program. In 2022, the City launched its Homebuyer Assistance Program which aims to help homebuyers with purchasing a home through a limited number of deferred payments; up to 33 percent (33%) of the purchase price, or the amount required to maintain a 40% front end ratio, or the program maximum of \$150,000; as well as a loan to be used for a portion of reasonable closing costs for which the applicant does not have sufficient resources. Through the City's Homebuyer Assistance Program, the City anticipates assisting approximately 4 households.

LACDA actively encourages residents to be involved in the organization through resident councils and active participation in housing authority decisions via surveys and other forms of engagement. Resident surveys were distributed with translation services available on request. Community meetings in low-income areas were hosted with copies of the Consolidated Plan draft being available in these areas. A public hearing is conducted to accept public comments on the draft plan before its approval and submittal to HUD. Grant funding is administered to increase housing availability and accessibility to residents to encourage greater participation in homeownership. LACDA also maintains quarterly newsletters for Section 8 tenants, public housing residents, and Section 8 property owners.

Unfortunately, during the 2023-2024 program year, LACDA's Section 8 or Public Housing programs do not offer homeownership programs. However, LACDA promotes its Family Self-Sufficiency (FSS) Program which encourages families to pursue goals of furthering their education, training and employability in an effort to secure funds for a down payment towards the purchase of their new home. During FY 2021-2022 and despite a global pandemic, LACDA was able to graduate 30 FSS participants, with an average escrow account disbursement of \$12,191.66. The City's Homebuyer Assistance Program is a perfect program for Los Angeles County residents looking to purchase in the City to help cover the gap in financial assistance especially with current market conditions and high interest rates.

If the PHA is designated as troubled, describe the manner in which financial assistance will be provided or other assistance

Not applicable. LACDA is considered a High Performing PHA.

Discussion

LACDA is well-positioned to continue providing Section 8 Housing Choice Vouchers in the City and throughout Los Angeles County. Through the City's Homebuyer Assistance Program, the City is optimistic that it will be able to assist four (4) households with purchasing their new home during the 2023-2024 program year.

AP-65 Homeless and Other Special Needs Activities – 91.220(i)

Introduction

The City's homeless population is similar to most homeless in the country in that they did not arrive in their current situation as a result of a single characteristic or life event. The majority of homeless have, or have had, risk factors that led to their current situation and which may contribute to chronic homelessness. The following are some of the potential causes of homelessness that have been identified by the Salvation Army, the National Coalition for the Homeless, and the California Homelessness Task Force: poverty (influenced by the lack of employment opportunities and decline in public assistance), unemployment, lack of affordable housing, poor physical or mental health, drug and alcohol abuse, gambling addiction, family and relationship breakdown, domestic violence, physical and/or sexual abuse and prison release.

For these reasons, the City will invest CDBG funds during the 2023-2024 program year to address this high priority need of providing supportive human services for those experiencing homelessness or at-risk of experiencing homelessness.

Describe the jurisdictions one-year goals and actions for reducing and ending homelessness including reaching out to homeless persons (especially unsheltered persons) and assessing their individual needs

Preventing and ending homelessness is a HUD priority addressed nationally through coordination of regional strategies carried out locally by government agencies and a wide variety of community-based and faith-based groups. The City supports the efforts of the LAHSA, County Continuum of Care (CoC), and its member organizations that address homelessness throughout the County and more specifically in Service Planning Area (SPA) 1. In alignment with this strategy, the City will use CDBG funds to support local service providers as well as City run programs to prevent homelessness and to expand the supply of affordable housing in the City for low-and moderate-income residents.

In addition, the City has cultivated and is committed to implementing a multi-faceted approach to tackling the complexities of homelessness. These strategies include a new facility, Kensington Campus; the LCHP, tailored specifically to our community needs; and a number of key partnerships, including a newly formed Homeless Impact Commission which holds a monthly meeting every third (3rd) Thursday at 10:00 am.

According to the LCHP, dated August 2018, the City identified the following series of goals, actions, and priority needs related to the City's efforts to combat homelessness:

- The addition of several personnel positions to effectively execute the plan. The positions include but are not limited to the following: Homeless Liaison, Community Ambassadors, Public Safety Specialist/Code Enforcement Officer, Metrolink Public Safety Specialist, Marketing Services/Resource Connect(s), Volunteer Coordinator, and AmeriCorps Volunteers. As of the date of this Action Plan the current positions filled are the Public Safety Specialist and Metrolink Public Safety Specialist.

- Goal #1 – Prevention – Provide activities or programs designed to prevent the incidence of homelessness and to assist those who are at risk of homelessness in improving their chances of not becoming homeless.
- Goal #2 – Housing - Provide a variety of suitable housing options to allow unsheltered homeless and sheltered homeless persons to transition to permanent housing.
- Goal #3 – Engagement - Engage with the homeless community, service provider community, and the community at large on the issue of homelessness. Provide easy access to information and opportunities to access services and volunteer. Provide education about the issue of homelessness in the City.
- Goal #4 – Public Safety - Ensure the City is a safe and clean place that is welcoming to residents and visitors.
- Goal #5 – Data-Driven Responsiveness - Implement solutions that are data-driven and/or have been tested through proven success.
- Goal #6 – Community Vitality - Reclaim and increase the use and enjoyment of public spaces by the entire community. Address the needs of all community members, including the homeless.
- Goal #7 – Regional Collaboration - Collaborate with regional partners, as well as advocating for solutions related to homelessness at a state and regional level.

To address the needs of TAY individuals (the City’s unseen homeless population), the City awarded \$175,000 in CDBG funds to The Children’s Center of the Antelope Valley for their TAY Drop-In Center Facility. The proposed project calls for the construction of a new building that would expand on TAY service branch to create program resources to TAY ages 16-25. The construction of this new building will increase capacity, resources, vocational training and build a more resilient community beginning with engagement with TAY, that include trauma informed initiatives. Drop-In Centers are designed to be an entry point to mental health system for Seriously Emotionally Disturbed (SED) and Severe and Persistently mentally Ill (SPMI) TAY, who are literally homeless or at risk of homelessness. The Drop-In Center will provide an environment in which TAY can find temporary safety and basic supports (i.e. showers, meals, clothing, access to computers, social activities, referrals, etc.). In addition, the City will utilize leveraged dollars to continue its partnership with The People’s Concern and their administration of the Kensington Campus. The campus’ is a 14-acre therapeutic facility located at Avenue I and 32nd Street West. The campus is designed to house, employ, and rehabilitate the local homeless population (adult individuals, not families), especially those unsheltered. Kensington offers both interim housing and permanent supportive housing, along with complete wraparound services, including case management, wellness programs, medical and mental health care. The campus seeks to provide betterment, dignity, and purpose to those most in need.

Lastly, Los Angeles County Homeless Outreach Portal (LA-HOP, www.la-hop.org), is the first of its kind, online portal for homeless outreach requests. Any person with a mobile phone or computer can use it, plus it works in multiple languages. How it works; if you see someone on the street who needs help, log into the portal, type in a location or use the icon to show where the person is and then describe the situation (the more detail the better). After you submit the request, it is assigned to an outreach team that is dispatched out to the designated area to help move the individual from homelessness to housing.

Addressing the emergency shelter and transitional housing needs of homeless persons

Through the Homeless Initiative, the County and CoC are working to strengthen and increase the availability of housing and services at all levels. The ultimate solution to ending homelessness is transitional to permanent housing closely aligned with supportive services that ensure housing stability can be maintained. However, because the demand for affordable housing far outpaces the region's supply, the CoC continues to rely on its emergency and bridge housing system to address the immediate needs of Los Angeles County's homeless population. The CoC is collaborating with a range of non-profit and community organizations to fill the gap, including providing funding for a local winter shelter. Additional funding has been infused in the community through Project Roomkey to provide families with emergency motel vouchers and provide households with rapid rehousing assistance. However, the final two Project Roomkey sites in Los Angeles County, the Grand in Downtown Los Angeles and the Cadillac Hotel in Venice will ramp down as Project Roomkey sites by February 2023. All Project Roomkey participants who lack either a subsidy or a voucher will receive at least one offer to move to an interim housing site. While Project Roomkey is ending, the work it inspired continues. LAHSA is currently overseeing the operation of 1,112 of the Project Homekey units secured by the City and County. Those units are currently providing both shelter and permanent housing to people experiencing homelessness throughout Los Angeles County.

Los Angeles County has implemented policy and program changes aimed at ensuring homeless persons in Los Angeles County are rapidly housed and offered an appropriate level of support services to meet their circumstances and keep them stably housed. This increase in rapid rehousing and permanent supportive housing for the most vulnerable populations is attributed to Los Angeles County homeless service providers re-tooling their programs and shifting their focus to moving people quickly into permanent supportive housing throughout the County.

The City will continue its partnership with The People Concern in the administration of the Kensington Campus, through leveraged dollars during the 2023-2024 program year. The campus is 14-acre therapeutic facility located at Avenue I and 32nd Street West. The campus is designed to house, employ, and rehabilitate the local homeless population, especially those unsheltered. The facility is the largest fully integrated community of its kind in the Antelope Valley. At full occupancy, the facility offers 156 interim housing beds and 150 permanent supportive housing apartments. Kensington's interim housing, permanent supportive housing, and complete wraparound services, include case management, wellness programs, medical and mental health care. The City believes that this campus is a critical resource for its most vulnerable neighbors as they rebuild their lives and find stability.

In February 2022, construction began on The Emerald Project, a new affordable and permanent supportive housing building in the City which will feature 72 units for families who have experienced chronic homelessness. The project will provide residents access to a range of supportive services to help them regain personal stability, including comprehensive case management, connections to health care services, education and employment resources, life skills training and more. The development also features amenities such as an open-air courtyard, community rooms, a computer lab, laundry facilities, and walking paths for exercise. The project is expected to be completed by Fall 2023.

Approximately \$70 million have been awarded for six (6) new Project Homekey projects throughout California, including \$12.9 million for Los Angeles County for the Sierra Highway Hotel project that would convert the Sands and Tropic motels into interim housing. The two motels will be converted into 38 units for people experiencing homelessness and chronic homelessness. The nonprofit Hope of the Valley Rescue Mission will operate the motels and provide supportive service space.

Helping homeless persons (especially chronically homeless individuals and families, families with children, veterans and their families, and unaccompanied youth) make the transition to permanent housing and independent living, including shortening the period of time that individuals and families experience homelessness, facilitating access for homeless individuals and families to affordable housing units, and preventing individuals and families who were recently homeless from becoming homeless again

The homeless plan goals and efforts included in the foregoing paragraphs help homeless persons, especially chronically homeless individuals and families, families with children, veterans, and unaccompanied youth make the transition to permanent housing and independent living as proven by the Kensington Campus' first 100 residents having moved into homes of their very own.

The City's goals are consistent with HUD's goal to shorten the period that individuals and families experience homelessness and to facilitate access for homeless individuals and families to affordable housing units. The City's goals are aligned with HUD's goal to prevent individuals and families who were recently homeless from becoming homeless again.

The City entered into a Development and Disposition Agreement (DDA) with Bridge Housing Corporation for the City's Housing Neighborhood Revitalization (HNR-1) property located at the Southwest corner of Avenue I and Sierra Highway. The development anticipates constructing 114 units, of which 113 units will be income restricted. Grading for the development is scheduled to commence in the spring of 2023, with units being occupied by the end of 2025.

Helping low-income individuals and families avoid becoming homeless, especially extremely low-income individuals and families and those who are: being discharged from publicly funded institutions and systems of care (such as health care facilities, mental health facilities, foster care and other youth facilities, and corrections programs and institutions); or, receiving assistance from public or private agencies that address housing, health, social services, employment, education, or youth needs

An individual or family is considered to be at-risk of becoming homeless if they experience extreme difficulty maintaining their housing and has no reasonable alternatives for obtaining subsequent housing. Homelessness often results from a complex set of circumstances that require people to choose between food, shelter and other basic needs. Examples of common circumstances that can cause homelessness include eviction, loss of income, insufficient income, disability, increase in the cost of housing, discharge from an institution, irreparable damage or deterioration to housing, and fleeing from family violence. The

“Approved Strategies to Combat Homelessness” published by L.A. County on February 9, 2016 (Homeless Initiative) are consistent with State and Federal initiatives for ending homelessness and consists of 47 strategies arranged by six guiding principles including A) Prevent Homelessness, B) Subsidize Housing, C) Increase Income, D) Provide Case Management and Services, E) Create a Coordinated System, and F) Increase Affordable/Homeless Housing. The Homeless Initiative represents a commitment by all stakeholders throughout the County to prevent and end homelessness. Through implementation of the collaborative goals of the LCHP and implementation of best practices developed through the CoC, the community will be able to serve people discharged from publicly funded institutions or systems of care such as health care facilities or correction programs. Full implementation of the Coordinated Entry System will reduce the number of people discharged from publicly funded institutions into homelessness.

In addition, the City will coordinate with local hospitals regarding Senate Bill No. 1152 which requires each hospital to have a written discharge planning policy and process that requires that the appropriate arrangements for post hospital care are made prior to discharge for those patients likely to suffer adverse health consequences upon discharge if there is no adequate discharge planning. The bill would require a hospital to document specified information before discharging a homeless patient. The bill would require a hospital to develop a written plan for coordinating services and referrals for homeless patients with the county behavioral health agency, health care and social service agencies in the region, health care providers, and nonprofit social service providers, as available, to assist with ensuring appropriate homeless patient discharge. The bill would also require a hospital to maintain a log of homeless patients discharged and the destinations to which they were released after discharge. The bill would specify how its provisions are to be construed in relation to local ordinances, codes, regulations, or orders related to the homeless patient discharge processes, and would exempt state hospitals under the jurisdiction of the State Department of State Hospitals from its provisions. Because a violation of these requirements would be a crime, this bill would impose a state-mandated local program.

During the 2023-2024 program year, the City will allocate CDBG funds to Lancaster Homeless Group dba Street Company’s Coffee Manufacturing Homeless Employment Program which will provide homeless adults residing in the City with 12-Week Job Readiness Program, permanent employment for homeless people working at Street Company and their Casters Coffee Roasting social enterprise, and wraparound supportive services through partnering with other agencies. The program aims for these services to allow individuals experiencing homelessness to earn viable income to support themselves.

Discussion

By employing multiple approaches to mitigating homelessness, along with cultivating vital relationships locally and with key regional supporters, the City will affect positive change throughout its community, while providing relief and measurable progress to the benefit of its residents and businesses alike. The efforts of the City in conjunction with those efforts of LAHSA can significantly help reduce homelessness and increase the quality of life of the City’s residents.

AP-75 Barriers to Affordable Housing

Introduction

A barrier to affordable housing is a public policy or nongovernmental condition that constrains the development or rehabilitation of affordable housing, such as land use controls, property taxes, state prevailing wage requirements, environmental protection, cost of land and availability of monetary resources. Barriers to affordable housing are distinguished from impediments to fair housing choice in the sense that barriers are lawful and impediments to fair housing choice are usually unlawful.

The primary barriers to affordable housing in the City are housing affordability and the lack of monetary resources necessary to develop and sustain affordable housing, especially for those extremely low-income households and large families. The two barriers are related in the sense that demand for affordable housing exceeds the supply and insufficient resources are available to increase the supply of affordable housing to meet demand. The availability of funding for affordable housing has also been severely affected by the dissolution of Redevelopment in the State of California. The AB1x26 legislation and subsequent AB 1484 legislation initially prevented the City from using approximately \$6 million dollars in Redevelopment low/mod housing funds. Other housing funds, including four percent and nine percent Low Income Housing Tax Credits, HOME, PLHA, CalHOME, and the Multifamily Housing Program are not sufficient to finance an affordable housing project alone.

Actions it planned to remove or ameliorate the negative effects of public policies that serve as barriers to affordable housing such as land use controls, tax policies affecting land, zoning ordinances, building codes, fees and charges, growth limitations, and policies affecting the return on residential investment

The following actions will work to remove barriers to affordable housing:

- The City continues to follow the Housing Element of the General Plan.
- Provide timely review of discretionary and non-discretionary residential development requests, with fees sufficiently only to cover the actual costs (direct and overhead) incurred by the City.
- Periodically, evaluate land development processing procedures to ensure that project review is accomplished in the minimum time necessary to implement the General Plan and ensure protection of public health, safety, and welfare.
- As part of the regular proceedings of the Development Review Committee (DRC), make residential developers aware of City zoning ordinance provisions that provide up to a 35 percent density bonus, or equivalent financial incentive, to residential developers who agree to make a corresponding percentage of the units within the project affordable to households, per State density bonus law. The City's zoning ordinance will be revised to reflect the latest changes in density bonus law.
- Leverage direct funding resources of the LHA with State and Federal funding sources to address the City's objectives contained in Table H-1 "Quantified Objectives" of the Housing Element in order to facilitate the provision of single and multiple family dwelling units available to very low, low, and moderate-income households.

- Encourage private sector development of affordable housing by subsidizing development impact fees in exchange for long term affordable restrictions.
- Identify and acquire distressed residential projects (e.g., foreclosures, bankruptcies) and prepare them for sale or rent at affordable housing costs.
- Periodically review the General Plan and zoning map to ensure that locations for affordable housing are encouraged in areas throughout the City, including locations within reasonable proximity to public facilities, transportation, schools, parks, and other daily services.
- Implement the following strategies to provide housing opportunities specifically for extremely low-income households:
 - Assist developers in seeking specialized funding sources for extremely low-income housing units;
 - Identify and recruit developers (for-profit and non-profit) for the development of extremely low-income housing units;
 - Re-evaluate the city's development review process for higher density, mixed use, second dwelling unit, and other supportive housing to ensure development feasibility; and,
 - Encourage other alternative housing options, including SRO (single room occupancy) housing units to meet the needs of varying living situations.

Discussion

To address housing affordability and the lack of monetary resources for affordable housing, during the 2023-2024 program year, the City will investment CDBG and HOME funds to rehabilitate 12 homeowner occupied homes and provide homeownership assistance to four (4) households. Although the City no longer has access to Redevelopment Housing Set-Aside funds, the City will continue to leverage its CDBG and HOME funds to attract private and other available public resources. This strategy will increase the supply of affordable housing and preserve existing affordable housing in the City.

AP-85 Other Actions – 91.220(k)

Introduction

Priority needs established in the FY 2020 – FY 2024 Five-Year Consolidated Plan, which forms the basis for establishing objectives and outcomes in the 2023-2024 AAP, are as follows:

- Provide Decent and Affordable Housing
- Improve and Expand Facilities and Infrastructure
- Provide Supportive Human Services
- Planning and Administration

Actions planned to address obstacles to meeting underserved needs

The primary obstacles to meeting the underserved needs of low- and moderate-income people include lack of funding from federal, state and other local sources, the high cost of housing that is not affordable to low-income people and the lack of availability of home improvement financing in the private lending industry. The City will continue to use CDBG funding to support public service agencies that address the special needs of the underserved, including the homeless, those at risk of homelessness, youth, seniors, female headed households, and the disabled. The City also proactively seeks additional resources to better meet the underserved needs. In addition, the City will continue to utilize CDBG and HOME funds to preserve and expand its housing programs to meet the growing need for affordable housing.

Actions planned to foster and maintain affordable housing

Increasing, improving, and maintaining affordable housing is identified as a High Priority for the City. The City will also continue to encourage developers, nonprofit organizations, and other interested parties to develop new affordable units and will support applications for development funds through the California Tax Credit Allocation Committee (CTCAC) and the State of California. In addition, the City allocated CDBG and HOME funds to rehabilitate 12 homeowner occupied homes and provide homeownership assistance to four (4) households.

Actions planned to reduce lead-based paint hazards

The Residential Lead Based Paint Hazard Reduction Act of 1992 (Title X) emphasizes prevention of childhood lead poisoning through housing-based approaches. The City has a need for lead hazard free housing and continues to work to reduce lead-based paint (LBP) hazards to comply with 24 CFR Part 35. The number of units considered to contain lead-based paint is relatively low. Having the information available to warn people about the need to maintain buildings, which may contain LBP, as well as other programs to encourage home maintenance, helps to aid in mitigating LBP hazards in the City.

The City will also encourage landowners to correct substandard conditions to minimize LBP hazards, especially owners of units where children ages six (6) and under live. Due to the average age of the City's housing, homes containing lead-based paint are not believed to be a significant problem. However, the City will continue to evaluate and reduce lead-based paint hazards through the following actions and activities:

- Providing information to purchasers, owners, landlords, renters, and various property management agencies regarding the dangers of lead-based paint and appropriate mitigation strategies, as part of the City's Homebuyer Assistance Program, Home Rehabilitation Assistance Program, and fair housing contract.
- Providing written information through one-on-one contact with contractors, building inspectors, code enforcement officers, and the general public.

Funding will not be provided until it is determined properties are free of LBP hazards.

Actions planned to reduce the number of poverty-level families

While the City has no control over the majority of the factors affecting poverty, it may be able to assist those living below the poverty line. The City supports other governmental, private, and nonprofit agencies involved in providing services to low- and moderate-income residents and coordinates efforts with these groups where possible to allow for more efficient delivery of services.

During the 2023-2024 program year, the City will continue to implement its strategy to help impoverished families achieve economic independence and self-sufficiency. City residents may utilize existing County job training and social service programs to increase employment marketability, household income and housing options. The City will allocate 15 percent of CDBG funds to public service agencies that offer supportive services in the fight against poverty.

Improved employment opportunities are important in reducing the number of people living in poverty. To help improve resident's employability through training, therefore increasing the number of higher paying local jobs, referrals are made to Lancaster WorkForce Center that provides job search services such as workshops, computer classes, phones, fax, computers with internet access, job leads, newspapers, and a resource for job seekers aged 18 and above.

In addition to these local efforts, mainstream state and federal resources also contribute to reducing the number of individuals and families in poverty. Federal programs such as the Earned Income Tax Credit and Head Start provide pathways out of poverty for families who are ready to pursue employment and educational opportunities. Additionally in California, the primary programs that assist families in poverty are CalWORKS, CalFresh (formerly food stamps) and Medi-Cal. Together, these programs provide individuals and families with employment assistance, subsidy for food, medical care, childcare and cash payments to meet basic needs such as housing, nutrition and transportation. Other services are available to assist persons suffering from substance abuse, domestic violence and mental illness.

During the 2023-2024 program year, the City will allocate CDBG funds to the following employment opportunity programs:

- Lancaster Homeless Group dba Street Company: Coffee Manufacturing Homeless Employment Program - The program will provide homeless adults with 12-Week Job Readiness Program, permanent employment for homeless people working at Street Company and its Casters Coffee Roasting social enterprise, wraparound supportive services through partnering with other agencies. The job-readiness program will provide education and critical job skills training that can be utilized in any entry-level job. The job-readiness program occurs on the agency's own CASTERS COFFEE social enterprise. The program anticipates placing thirty (30) homeless people in part-time and full-time jobs during the 2023-2024 program year. The program also expects to provide two (2) full-time, four (4) part-time permanent employment for homeless people. Street Company uses 100% of its coffee sales revenue to employ other homeless people.
- Lost Angels Children's Project: Work Program – The program will provide training and skill development to TAY individuals (18 to 24 years old) to secure and maintain living wage employment, sustainable housing, attain financial independence and self-sufficiency. The program is a 12-week vocational training class in classic car restoration social enterprise. Through the program, clients learn welding, fabrication, bodywork, painting and preparation, engine assembly, electrical, and composites in the agency's 10,000 square foot industrial training shop. In addition to the training program, youth are provided case management and wraparound supportive services. After program completion participants spend eight (8) additional hours per week in professional development workshops, mock interviews, financial literacy, industry-tailored resumes, cover letters, workplace harassment/ discrimination training. Clients receive forklift and OSHA certification and training. The program anticipates assisting 40 unduplicated persons during the 2023-2024 program year.

Actions planned to develop institutional structure

The City works with a wide range of public and community social service agencies to meet and address the various needs of the community. In FY 2023, City staff will continue to collaborate internally, as well as with local non-profit advocacy groups and other County, State and Federal organizations.

In addition, the City as a whole, and each department within it, is committed to working with businesses to align common interests and achieve common goals. During the 2023-2024 program year, the City staff will continue efforts to aid in the economic growth of the City by fostering and encouraging responsible economic development opportunities that result in: 1) a jobs/housing balance established through quality employment opportunities for residents; 2) an economic base through increased sales tax generation; and 3) economic wealth by attracting external monies to the local economy. Specifically, four (4) targeted industries have been identified where there is a foundation of businesses in the City currently and opportunities for growth. These industries include aerospace/aviation, healthcare, manufacturing, and film/entertainment. These business clusters offer a variety of high paying, high skilled jobs, which can be accessed either through traditional educational routes or through on the job training and apprenticeship programs.

Actions planned to enhance coordination between public and private housing and social service agencies

The City's REED Department manages all programs and functions related to the provision of affordable housing related projects. The REED performs these functions in coordination with its Department of Development Services which includes an administration component and is comprised of Community Development (including Planning), City Engineering, Capital Engineering, and Public Works Divisions. The HOME and CDBG programs are managed through the REED and FIT Departments, respectively, which allows for better communication and a more coordinated effort to address the issues affecting the low- and moderate-income residents of the City. It also supports the development of a clear and comprehensive affordable housing strategy that is consistently reflected in all affordable housing related documents, and a coordinated economic development strategy.

Actions that the City will undertake during the 2023-2024 program year to enhance coordination between public and private housing, health, and social service agencies include:

- Working with the LAHSA, Lancaster Homeless Initiative, and AVHC to provide homeless shelter and services.
- Coordination with LACDA to provide information about Section 8 Housing Choice Vouchers.
- Coordinating with the County of Los Angeles Health Department, Childhood Lead Poisoning Prevention Program (CLPPP) to provide information about lead based paint hazards.
- Funding a contract for fair housing services to provide fair housing and landlord/tenant complaint intake and mediation services to the residents of the City.
- Following the City's adopted General Plan developed in collaboration with Los Angeles County.
- Working with the Greater Antelope Valley Economic Alliance to address shared priorities such as transportation and air quality issues, large scale planning goals, and advocacy at regional, state, and federal levels.
- Consult with and invite the participation of a wide variety of agencies and organizations involved in the delivery of housing and supportive services to low- and moderate-income residents in the City—particularly the low-and moderate- income areas.

Discussion

During the 2023-2024 program year, the City will invest CDBG and HOME resources to address obstacles to meeting underserved needs, foster and maintain affordable housing, reduce lead-based paint hazards, reduce the number of poverty-level families, develop institutional structure and enhance coordination between public and private housing and social service agencies.

Program Specific Requirements

AP-90 Program Specific Requirements - 91.220(l)(1,2,4)

Introduction

In the implementation of programs and activities under the 2023-2024 AAP, the City will follow all HUD regulations concerning the use of program income, forms of investment, overall low- and moderate-income benefit for the CDBG program and recapture requirements for the HOME program.

Community Development Block Grant Program (CDBG) Reference 24 CFR 91.220(l)(1)

Projects planned with all CDBG funds expected to be available during the year are identified in the Projects Table. The following identifies program income that is available for use that is included in projects to be carried out.

1. The total amount of program income that will have been received before the start of the next program year and that has not yet been reprogrammed	\$0
2. The amount of proceeds from section 108 loan guarantees that will be used during the year to address the priority needs and specific objectives identified in the grantee's strategic plan.	\$0
3. The amount of surplus funds from urban renewal settlements	\$0
4. The amount of any grant funds returned to the line of credit for which the planned use has not been included in a prior statement or plan	\$0
5. The amount of income from float-funded activities	\$0
Total Program Income:	\$0

Other CDBG Requirements

1. The amount of urgent need activities	\$0
2. The estimated percentage of CDBG funds that will be used for activities that benefit persons of low and moderate income. Overall Benefit - A consecutive period of one, two or three years may be used to determine that a minimum overall benefit of 70% of CDBG funds is used to benefit persons of low and moderate income. Specify the years covered that include this APP. The City will meet this requirement over the 2023-2024, 2024-2025 and 2025-2026 CDBG program years.	70%

HOME Investment Partnership Program (HOME)
Reference 24 CFR 91.220(l)(2)

1. **A description of other forms of investment being used beyond those identified in Section 92.205 is as follows:**

The City does not use forms of investment other than what is included in § 92.205(b).

2. **A description of the guidelines that will be used for resale or recapture of HOME funds when used for homebuyer activities as required in 92.254, is as follows:**

During the 2023-2024 program year, the City will allocate HOME funds towards the City's Homebuyer Assistance Program. This activity will provide the City the opportunity to provide financial assistance to eligible households in the purchasing of their home. The City's Homebuyer Assistance Program will incorporate a recapture provision in accordance with § 92.254 (a)(5)(ii).

Housing that is for acquisition by a family must meet the affordability requirements of this paragraph.

(1) The housing must be single family housing.

(2) The housing must be modest housing as follows:

(i) In the case of acquisition of newly constructed housing or standard housing, the housing has a purchase price for the type of single-family housing that does not exceed 95 percent of the median purchase price for the area, as described in paragraph (2)(iii) of this section.

(ii) In the case of acquisition with rehabilitation, the housing has an estimated value after rehabilitation that does not exceed 95 percent of the median purchase price for the area, described in paragraph (a)(2)(iii) of this section.

(iii) If a participating jurisdiction intends to use HOME funds for homebuyer assistance or for the rehabilitation of owner-occupied single-family properties, the participating jurisdiction must use the HOME affordable homeownership limits provided by HUD for newly constructed housing and for existing housing. HUD will provide limits for affordable newly constructed housing based on 95 percent of the median purchase price for the area using Federal Housing Administration (FHA) single family mortgage program data for newly constructed housing, with a minimum limit based on 95 percent of the U.S. median purchase price for new construction for nonmetropolitan areas. HUD will provide limits for affordable existing housing based on 95 percent of the median purchase price for the area using Federal FHA single family mortgage program data for existing housing data and other appropriate data that are available nation-wide for sales of existing housing, with a minimum limit based on 95 percent of the state-wide nonmetropolitan area median purchase price using this data.

(3) The housing must be acquired by a homebuyer whose household qualifies as a low-income household, and the housing must be the principal residence of the family throughout the period described in the Affordability Restriction Period table referenced below. In determining the income eligibility of the household, the participating jurisdiction must include the income of all persons living in the housing. The homebuyer must receive housing counseling.

As a condition of receiving HOME funds, the City requires the applicant to enter into a HOME Participation Agreement and Affordability Covenant Agreement that is recorded against the property and runs with the land. The Affordability Covenant Agreement contains a recapture restriction stipulating that during the affordability period, if there is a property sale, transfer, or program default of the conditions of either the Promissory Note or the Affordable Housing Restriction, the City will provide for the recapture of HOME funds in accordance with the following:

1. Upon the occurrence of a sale or transfer, other than a City approved assumption, the entire amount of the HOME investment provided by the City loan will be due to the City, less any City approved principal reductions.
2. Upon the occurrence of a program default of the conditions of the promissory note, Affordable Housing Restriction, deed of trust, or Participation Agreement, the entire amount of the HOME investment provided by the City loan will be due to the City without any principal reductions.
3. Notwithstanding the preceding, in the event that the Net Proceeds resulting from a sale are not sufficient to provide for the full return of the Borrower's investment inclusive of the original down payment and capital improvements performed on the acquired property (subject to City verification and approval), then the Borrower shall be entitled to recover their original down payment amount and City approved capital improvement amounts before the City recapture of the HOME investment amount (the City Loan). For the purposes of this calculation, net proceeds shall mean the sales price minus the repayment of the Primary Loan undertaken to acquire the Property (other than HOME funds) and any closing costs. Capital improvements means those improvements legally made by Homeowner to the Property after the closing of Homeowner's purchase of the Property, with a minimum cost of Five Thousand Dollars (\$5,000) per item, and a useful remaining economic life of not less than five (5) years, as approved by the City and documented by invoices and receipts which the Homeowner certifies to be true and correct.

All recaptured funds will be used for HOME eligible activity(ies). These funds will be identified separately in the City's accounting system by a unique Recaptured Revenue object number. Any recaptured funds will be used by the City before any additional HOME funds subject to the regulations found at 24 CFR 92.502 are drawn.

The City will provide for a reduction in the City loan amount principal, based on the Participant's continuing compliance with all Program requirements as detailed within the recorded Affordable Housing Restriction, Participation Agreement, promissory note, and deed of trust. No reduction will be available until the sixth (6th) anniversary date of the promissory note. Beginning with the sixth (6th) year through

the fifteenth (15th) year, a reduction of the loan principal will be earned by the Participant for meeting all Program requirements from the day of property acquisition through the date of loan repayment. The annual loan principal reduction will be equal to ten percent (10%) of the original principal loan amount, and the cumulative value of any loan reductions will only be credited at the time of loan repayment.

Should a default occur during the affordability period, the City shall have the right of first refusal to purchase the home from the homebuyer before foreclosure and may use additional HOME funds to acquire the housing in order to preserve the housing's affordability. The purchase of the property shall be at the restricted sales price, less the amount of assistance originally provided by the City plus interest. The restricted sales price is calculated using a formula that takes into account the purchase price, the change in consumer price index, and improvements made to the property.

Refinancing of the Program Loan shall be allowed when the proposed loan refinance amount does not exceed the then outstanding balance (plus refinancing and closing costs) of the existing Primary Loan. An appraisal must be conducted to establish the market value of the property to ensure that the total outstanding loan obligations, inclusive of the City Loan do not exceed 95% of the property value at the time of the refinance. Cash-out refinancing is not allowed, however in the event the Participant refinances the Primary Loan, and the refinancing returns money to the homeowner, the homeowner must use the loan proceeds to pay down the City loan, thereby reducing the principal loan balance owed on the City loan.

Requests for subordination that do not conform to this policy shall be considered on a case-by-case basis. After subordination, the sum of all outstanding loans may not exceed the lower of either the HOME Maximum Purchase Price for existing homes in effect at the time of the refinance, or 95% of the property's appraised market value. Subordination Requests shall be performed in conformance with the procedures detailed in the City Subordination Policy, acknowledged by the borrower via the First Mortgage Refinancing and Subordination Policy Acknowledgement and a formal request submitted to the City through the use of the City's Request for Refinancing and Subordination Form.

3. A description of the guidelines for resale or recapture that ensures the affordability of units acquired with HOME funds? See 24 CFR 92.254(a)(4) are as follows:

Please see narrative above.

Periods of affordability. The HOME-assisted housing must meet the affordability requirements for not less than the applicable period specified in the following table, beginning after project completion. The per unit amount of HOME funds and the affordability period that they trigger are described in the table below:

Homeownership assistance HOME amount per-unit	Minimum period of affordability in years
Existing Housing per unit amount of HOME Funds: Under \$15,000	5
Existing Housing per unit amount of HOME Funds: \$15,000 to \$40,000	10
Existing Housing per unit amount of HOME Funds: Over \$40,000	15
Acquisition of newly constructed housing	20

4. Plans for using HOME funds to refinance existing debt secured by multifamily housing that is rehabilitated with HOME funds along with a description of the refinancing guidelines required that will be used under 24 CFR 92.206(b), are as follows:

The City does not intend to use HOME funds during the 2023-2024 program year to refinance existing debt secured by multifamily housing that is rehabilitated with HOME funds.



APPENDIX A

Citizen Participation

AFFIDAVIT OF PUBLICATION

(2015.5 C.C.P.)

STATE OF CALIFORNIA }
County of Los Angeles } ss

NOTICE OF PUBLIC HEARING AND 30 DAY REVIEW AND COMMENT PERIOD CDBG 23-24 - ENGLISH

I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen years, and not a party to or interested in the above entitled matter. I am the principal clerk of the printer of the **Antelope Valley Press**, a newspaper of general circulation, printed and published **daily** in the city of **Palmdale**, County of Los Angeles, and which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the County of Los Angeles, State of California, under date of October 24, 1931, Case Number 328601; Modified Case Number 657770 April 11, 1956; also operating as the Ledger-Gazette, adjudicated a legal newspaper June 15, 1927, by Superior Court decree No. 224545; also operating as the Desert Mailer News, formerly known as the South Antelope Valley Foothill News, adjudicated a newspaper of general circulation by the Superior Court of the County of Los Angeles, State of California on May 29, 1967, Case Number NOC564 and adjudicated a newspaper of general circulation for the **City of Lancaster**, State of California on January 26, 1990, Case Number NOC10714, Modified October 22, 1990; that the notice, of which the annexed is a printed copy (set in type not smaller than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement thereof on the following dates, to-wit:

April 5, 2023

I certify (or declare) under penalty of perjury that the fore-going is true and correct.



Signature

Dated **April 5, 2023**
Executed at Palmdale, California

Valley Press

37404 SIERRA HWY., PALMDALE CA 93550
Telephone (661)267-4112/Fax (661)947-4870

The space above for file stamp only

LEGAL NOTICE CITY OF LANCASTER NOTICE OF PUBLIC HEARING AND 30-DAY REVIEW AND COMMENT PERIOD FOR THE DRAFT 2023-2024 ANNUAL ACTION PLAN

NOTICE IS HEREBY GIVEN that at its regular scheduled meeting to be held at 5:00 p.m. on Tuesday, May 2, 2023, in its chambers, located at 44933 Fern Avenue, Lancaster, the City Council will conduct a public hearing and accept public comments on the City's Draft 2023-2024 Annual Action Plan ("Action Plan").

PUBLIC COMMENT PERIOD: April 7, 2023 to
May 9, 2023

PLACE OF REVIEW: Lancaster City Hall
Finance and Information Technology Department
44933 Fern Avenue
Lancaster, CA 93534

DATE OF HEARING: Tuesday, May 9, 2023, 5:00 pm

PLACE OF HEARING: Council Chambers
Lancaster City Hall
44933 Fern Avenue

The Action Plan will be available for a 30-day public review and comment period from April 7, 2023, to May 9, 2023. Citizens wishing to submit written comments during the public review and comment period may mail them, postmarked no later than May 9, 2023, to the following:

City of Lancaster
Attention: Chris Aune, Housing and Real Estate Manager
Real Estate and Economic Development Department
44933 Fern Avenue
Lancaster, California 93534

You may also email comments no later than 4:30 pm on May 9, 2023, to Mr. Aune at CAune@cityoflan-casterca.gov. All interested persons are invited to review and comment on the Action Plan on the City's website www.cityoflan-casterca.org.

The City is an entitlement community that participates in the Community Development Block Grant (CDBG) and HOME Investment Partnerships (HOME) Programs which require the submittal of a Five-Year Consolidated Plan as part of the City's grant application to HUD. The plan establishes a framework of housing, community and economic development priorities for the City's CDBG and HOME programs over the next five years. The Action Plan represents the fourth year of the City's 2020-2024 Five-Year Consolidated Plan. The Action Plan will appropriate CDBG and HOME funds to specific programs and projects for the 2023-2024 fiscal year. During the 2023-2024 fiscal year, the City will receive and allocate \$1,463,022 in CDBG funds and \$724,611 in HOME funds, to implement programs and projects that benefit low- and moderate-income residents.

In compliance with the Americans with Disabilities Act, this meeting will be held at a location accessible to persons with disabilities; if you need special assistance to participate in this public meeting, please contact the City Clerk at (661)723-6020. Telecommunication Device for the Deaf (TDD) users may call the California TDD Relay Service at 1-800-735-2922. Services such as American Sign Language interpreters, a reader during the meeting, auxiliary aids, large print copies of the agenda and/or translation assistance for non-English speakers are available upon reasonable and timely request. To ensure availability, you are advised to make your request at least 72 hours prior to the meeting/event you wish to attend. Due to difficulties in securing sign language interpreters, five or more business days' notice is strongly recommended. For additional information, please contact the City Clerk at (661)723-6020.

The City does not and shall not discriminate on the basis of race, color, religion (creed), gender, gender expression, age, national origin (ancestry), disability, marital status, sexual orientation, military status, or other protected class status in any of its activities or operations.

DATED: April 4, 2023

ANDREA ALEXANDER
City Clerk
City of Lancaster

Published: Wednesday, April 5, 2023

LEGAL NOTICE
CITY OF LANCASTER
NOTICE OF PUBLIC HEARING AND 30-DAY REVIEW
AND COMMENT PERIOD FOR THE
DRAFT 2023–2024 ANNUAL ACTION PLAN

NOTICE IS HEREBY GIVEN that at its regular scheduled meeting to be held at 5:00 p.m. on Tuesday, May 9, 2023, in its chambers, located at 44933 Fern Avenue, Lancaster, the City Council will conduct a public hearing and accept public comments on the City’s Draft 2023-2024 Annual Action Plan (“Action Plan”).

PUBLIC COMMENT PERIOD: April 7, 2023 to
May 9, 2023

PLACE OF REVIEW: Lancaster City Hall
Finance and Information Technology Department
44933 Fern Avenue
Lancaster, CA 93534

DATE OF HEARING: Tuesday, May 9, 2023, 5:00 pm

PLACE OF HEARING: Council Chambers
Lancaster City Hall
44933 Fern Avenue

The Action Plan will be available for a 30-day public review and comment period from April 7, 2023, to May 9, 2023. Citizens wishing to submit written comments during the public review and comment period may mail them, postmarked no later than May 9, 2023, to the following:

City of Lancaster
Attention: Chris Aune, Housing and Real Estate Manager
Real Estate and Economic Development Department
44933 Fern Avenue
Lancaster, California 93534

You may also email comments no later than 4:30 pm on May 9, 2023, to Mr. Aune at CAune@cityoflanasterca.gov. All interested persons are invited to review and comment on the Action Plan on the City’s website www.cityoflanasterca.org.

The City is an entitlement community that participates in the Community Development Block Grant (CDBG) and HOME Investment Partnerships (HOME) Programs which require the submittal of a Five-Year Consolidated Plan as part of the City’s grant application to HUD. The plan establishes a framework of housing, community and economic development priorities for the City’s CDBG and HOME programs over the next five years. The Action Plan represents the fourth year of the City’s 2020-2024 Five-Year Consolidated Plan. The Action Plan will appropriate CDBG and HOME funds to specific programs and projects for the 2023-2024 fiscal year. During the 2023-2024 fiscal year, the City will receive and allocate \$1,463,022 in CDBG funds and \$724,611 in HOME funds, to implement programs and projects that benefit low- and moderate-income residents.

In compliance with the Americans with Disabilities Act, this meeting will be held at a location accessible to persons with disabilities; if you need special assistance to participate in this public meeting, please contact the City

Clerk at (661)723-6020. Telecommunication Device for the Deaf (TDD) users may call the California TDD Relay Service at 1-800-735-2922. Services such as American Sign Language interpreters, a reader during the meeting, auxiliary aids, large print copies of the agenda and/or translation assistance for non-English speakers are available upon reasonable and timely request. To ensure availability, you are advised to make your request at least 72 hours prior to the meeting/event you wish to attend. Due to difficulties in securing sign language interpreters, five or more business days' notice is strongly recommended. For additional information, please contact the City Clerk at (661)723-6020.

The City does not and shall not discriminate on the basis of race, color, religion (creed), gender, gender expression, age, national origin (ancestry), disability, marital status, sexual orientation, military status, or other protected class status in any of its activities or operations.

DATED: April 5, 2023

ANDREA ALEXANDER
City Clerk
City of Lancaster

Published: Wednesday, April 5, 2023

- City of Lancaster website
www.cityoflancasterca.org
Antelope Valley Press

AFFIDAVIT OF PUBLICATION

(2015.5 C.C.P.)

STATE OF CALIFORNIA }
County of Los Angeles } ss

NOTICE OF PUBLIC HEARING AND 30 DAY REVIEW AND COMMENT PERIOD CDBG 23-24 - SPANISH

I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen years, and not a party to or interested in the above entitled matter. I am the principal clerk of the printer of the **Antelope Valley Press**, a newspaper of general circulation, printed and published daily in the city of **Palmdale**, County of Los Angeles, and which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the County of Los Angeles, State of California, under date of October 24, 1931, Case Number 328601; Modified Case Number 657770 April 11, 1956; also operating as the Ledger-Gazette, adjudicated a legal newspaper June 15, 1927, by Superior Court decree No. 224545; also operating as the Desert Mailer News, formerly known as the South Antelope Valley Foothill News, adjudicated a newspaper of general circulation by the Superior Court of the County of Los Angeles, State of California on May 29, 1967, Case Number NOC564 and adjudicated a newspaper of general circulation for the **City of Lancaster**, State of California on January 26, 1990, Case Number NOC10714, Modified October 22, 1990; that the notice, of which the annexed is a printed copy (set in type not smaller than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement thereof on the following dates, to-wit:

April 5, 2023

I certify (or declare) under penalty of perjury that
the fore-going is true and correct.



Signature

Dated April 5, 2023

Executed at Palmdale, California

The space above for file stamp only

AVISO DE AUDIENCIA PÚBLICA Y PERÍODO DE REVISIÓN Y COMENTARIOS DE 30 DÍAS AYUNTAMIENTO DE LA CIUDAD DE LANCASTER PLAN DE DESEMPEÑO ANUAL (2023-2024)

POR MEDIO DE LA PRESENTE SE NOTIFICA que en su reunión ordinaria programada, a las 5:00 p.m. martes 9 de mayo de 2023, en su cámara, ubicada en 44933 Fern Avenue, Lancaster, el Concejo Municipal vará a cabo una audiencia pública y aceptará comentarios públicos sobre el Plan de Desempeño Annu 2023-2024 de la Ciudad ("Plan de Desempeño").

PERÍODO DE COMENTARIO PÚBLICO: 7 de abril de 2023 a
9 de mayo de 2023

LUGAR DE REVISIÓN: Ayuntamiento de Lancaster
de Finanzas y
Tecnología de la Información
44933 Fern Avenue
Lancaster, CA 93534

FECHA DE AUDIENCIA: martes, 9 de mayo de 2023 5:00 pm

LUGAR DE AUDIENCIA: Cámaras del Consejo
Municipal de Lancaster
44933 Fern Avenue

El Plan de Desempeño estará disponible para revisión pública y comentarios por un período de 30 día comenzando el 7 de abril de 2023 a 9 de mayo de 2023. Los ciudadanos que deseen enviar comentarios p escrito durante la revisión pública y el período de comentarios pueden enviarlos por correo, a más tardar el de mayo de 2023, a la siguiente dirección:

Ciudad de Lancaster
Atención: Chris Aune, Gerente de Vivienda y Bienes Raíces
Departamento de Bienes Raíces y Desarrollo Económico
44933 Fern Avenue
Lancaster, California 93534

También puede enviar comentarios por correo electrónico antes de las 4:30 pm el 9 de mayo de 2023 al e Aune a CAune@cityoflanasterca.gov. Todas las personas interesadas están invitadas a revisar y coment sobre el Plan de Desempeño en el sitio web de la Ciudad www.cityoflanasterca.org.

La Ciudad es una comunidad con derecho a participar en el Programa de Subsidios Globales para el Desarrollo Comunitario (CDBG, por sus siglas en inglés) y Asociación para Inversiones en Vivienda HOME (HOME por sus siglas en inglés) que requieren la presentación de un Plan Consolidado de Cinco Años como parte de la solicitud de subvención de la Ciudad a HUD. El plan establece un marco de prioridades de desarroll económico, comunitario y de vivienda para los programas CDBG y HOME de la Ciudad durante los próximos cinco años. El Plan de Desempeño representa el cuarto año del Plan Consolidado de Cinco Años 2020-202 de la Ciudad. El Plan de Desempeño asignará fondos de CDBG y HOME a programas y proyectos específicos para el año fiscal 2023-2024. Durante el año fiscal 2023-2024, la Ciudad recibirá y asignar \$1,463,022 en fondos CDBG y \$724,611 en fondos HOME, para implementar programas y proyectos que beneficien a residentes de ingresos bajos y moderados.

De conformidad con la Ley de Estadounidenses con Discapacidades, esta reunión se llevará a cabo en un lugar accesible para las personas con discapacidades; si necesita asistencia especial para participar en est reunión pública, comuníquese con la Secretaría Municipal al (661) 723-6020. Los usuarios de dispositivo de telecomunicaciones para personas con problemas auditivos (TDD, por sus siglas en inglés) pueden llamar al Servicio de Retransmisión de TDD de California al 1-800-735-2922. Los servicios tales como intérpretes de Lenguaje de Señas Estadounidense, un lector durante la reunión, ayudas auxiliares, copias de la agenda de letra grande y/o asistencia de traducción para personas que no hablan inglés están disponibles previa solicitud razonable y oportuna. Para garantizar la disponibilidad, se recomienda realizar su solicitud al menos 7 horas antes de la reunión/evento al que desea asistir. Debido a las dificultades para conseguir intérpretes de lenguaje de señas, se recomienda encarecidamente un aviso con cinco o más días de anticipación. Para obtener información adicional, comuníquese con la Secretaría Municipal al (661) 723-6020.

El Ayuntamiento de la ciudad no discrimina y no debería discriminar por motivos de raza, color, religión (credo), género, expresión de género, edad, origen nacional (ascendencia), discapacidad, estado civil, orientación sexual, estado militar u otro estado de clase protegida en cualquiera de sus actividades u operaciones.

ANDREA ALEXANDER
Secretaría Municipal
Ciudad de Lancaster

FECHA: martes, 4 de abril de 2023

Publicado: miércoles, 5 de abril de 2023 - Antelope Valley Press



37404 SIERRA HWY., PALMDALE CA 93550
Telephone (661)267-4112/Fax (661)947-4870

AVISO DE AUDIENCIA PÚBLICA Y PERÍODO DE REVISIÓN Y
COMENTARIOS DE 30 DÍAS
AYUNTAMIENTO DE LA CIUDAD DE LANCASTER
PLAN DE DESEMPEÑO ANUAL (2023-2024)

POR MEDIO DE LA PRESENTE SE NOTIFICA que en su reunion ordinaria porgramada, a las 5:00 p.m. el martes 9 de mayo de 2023, en su cámara, ubicada en 44933 Fern Avenue, Lancaster, el Concejo Municipal llevará a cabo una audiencia pública y aceptará comentarios públicos sobre el Plan de Desempeño Annual 2023-2024 de la Ciudad (“Plan de Desempeño”).

PERÍODO DE COMENTARIO PÚBLICO: 7 de abril de 2023 a
9 de mayo de 2023

LUGAR DE REVISIÓN: Ayuntamiento de Lancaster
Departamento de Finanzas y
Tecnología de la Información
44933 Fern Avenue
Lancaster, CA 93534

FECHA DE AUDIENCIA: martes, 9 de mayo de 2023 5:00 pm

LUGAR DE AUDIENCIA: Cámaras del Consejo
Municipal de Lancaster
44933 Fern Avenue

El Plan de Desempeño estará disponible para revision pública y comentarios por un período de 30 días comenzando el 7 de abril de 2023 a 9 de mayo de 2023. Los ciudadanos que deseen enviar comentarios por escrito durante la revision pública y el período de comentarios pueden enviarlos por correo, a más tardar el 9 de mayo de 2023, a la siguiente dirección:

Ciudad de Lancaster
Atención: Chris Aune, Gerente de Vivienda y Bienes Raíces
Departamento de Bienes Raíces y Desarrollo Económico
44933 Fern Avenue
Lancaster, California 93534

También puede enviar comentarios por correo electrónico antes de las 4:30 pm el 9 de mayo de 2023 al Sr. Aune a CAune@cityoflancasterca.gov. Todas las personas interesadas están invitadas a revisar y comentar sobre el Plan de Desempeño en el sitio web de la Ciudad www.cityoflancasterca.org.

La Ciudad es una comunidad con derecho a participar en el Programa de Subsidios Globales para el Desarrollo Comunitario (CDBG, por sus siglas en inglés) y Asociación para Inversiones en Vivienda HOME (HOME, por sus siglas en inglés) que requieren la presentación de un Plan Consolidado de Cinco Años como parte de la solicitud de subvención de la Ciudad a HUD. El plan establece un marco de prioridades de desarrollo económico, comunitario y de vivienda para los programas CDBG y HOME de la Ciudad durante los próximos cinco años. El Plan de Desempeño representa el cuarto año del Plan Consolidado de Cinco Años 2020-2024 de la Ciudad. El Plan de Desempeño asignará fondos de CDBG y HOME a programas y proyectos específicos para el año fiscal 2023-2024. Durante el año fiscal 2023-2024, la Ciudad recibirá y asignará \$1,463,022 en fondos CDBG y \$724,611 en fondos HOME, para implementar programas y proyectos que benefician a residentes de ingresos bajos y moderados.

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FECHA: 5 de abril de 2023

ANDREA ALEXANDER
Secretaria Municipal
Ciudad de Lancaster

Publicado: miércoles, 5 de abril de 2023

- Sitio Web de la Ciudad
www.cityoflancasterca.org
Antelope Valley Press

LEGAL NOTICE
CITY OF LANCASTER
NOTICE OF PUBLIC HEARING
HUD COMMUNITY PLANNING AND DEVELOPMENT FUNDS
DRAFT SUBSTANTIAL AMENDMENT TO THE 2021-2022 AND 2022-2023 ACTION
PLANS AND 2020-2024 CITIZEN PARTICIPATION PLAN

NOTICE IS HEREBY GIVEN that the City of Lancaster (“City”) has prepared the Draft Substantial Amendment to the 2021-2022 and 2022-2023 Action Plans (“Action Plans”) and 2020-2024 Citizen Participation Plan (“CPP”) prepared for the U.S. Department of Housing and Urban Development (“HUD”) Community Development Block Grant (“CDBG”) program.

As an entitlement community under the CDBG program, the City receives CDBG funds on an annual basis and is required to prepare a Consolidated Plan every five years and Action Plan annually. Since the adoption of the Action Plans, the City has identified one (1) activity that it wishes to cancel and transfer its funds along with additional uncommitted funds totaling a combined amount of \$681,258 to one (1) new activity. In addition, the Substantial Amendment to the CPP modifies the City’s existing policies concerning public hearings, public hearing processes, and notification and access, to be more consistent with HUD’s guidance. To approve these proposed changes, the City is required to conduct a public hearing and public review period for the Draft Substantial Amendment to the Action Plans and CPP.

In compliance with the City’s approved CPP and the Consolidated Plan implementing regulation 24 CFR 91.105, this notice is hereby given that the City has prepared the Draft Substantial Amendment to the Action Plans and CPP. A copy of the Substantial Amendment is required to be made available to the public for review and comment for no less than a thirty (30) day period. The Draft Substantial Amendment will be available for public review as follows:

PUBLIC COMMENT PERIOD: November 11, 2022, through December 13, 2022

PLACE OF REVIEW: Lancaster City Hall - Finance & Information Technology
Department and City Clerk’s Office
44933 Fern Avenue
Lancaster, CA 93534
<https://www.cityoflanasterca.org/our-city/departments-services/housing-neighborhood-revitalization/cdbg-community-development-block-grant>

NOTICE IS HEREBY FURTHER GIVEN that the Draft Substantial Amendment to the Action Plans and CPP will be presented to the City Council for approval on December 13, 2022, at 5:00 p.m. At this meeting, the City Council will receive public comments on the Draft Substantial Amendment, and upon approval, will submit the Substantial Amendment to HUD. In addition, the public hearing shall provide residents with an opportunity to express their views concerning housing and community development needs, priority non-housing community development needs, proposed strategies and actions for affirmatively furthering fair housing, the development of proposed activities, a review of program performance and respond to proposals or questions.

All interested persons are invited to review and comment on the Draft Substantial Amendment to the Action Plans and CPP. Those persons wishing to submit written comments during the public review and comment period may mail them, postmarked no later than 5:00 p.m. on December 13, 2022, to the following:

City of Lancaster
Attention: Nike Noack, Senior Manager
Finance and Information Technology
44933 Fern Avenue
Lancaster, California 93534

In compliance with the Americans with Disabilities Act, this meeting will be held at a location accessible to persons with disabilities; if you need special assistance to participate in this public meeting, please contact the City Clerk at (661)723-6020. TDD users may call the California TDD Relay Service at 1-800-735-2922. Services such as American Sign Language interpreters, a reader during the meeting, auxiliary aids, large print copies of the agenda and/or translation assistance for non-English speakers are available upon reasonable and timely request. To ensure availability, you are advised to make your request at least 72 hours prior to the meeting/event you wish to attend. Due to difficulties in securing sign language interpreters, five or more business days' notice is strongly recommended. For additional information, please contact the City Clerk at (661)723-6020.

DATED: (November 2, 2022)

ANDREA ALEXANDER
City Clerk
City of Lancaster

Published: (Monday, November 7, 2022)

- Antelope Valley Press
- City of Lancaster website

AVISO LEGAL
AYUNTAMIENTO DE LA CIUDAD DE LANCASTER
AVISO DE AUDIENCIA PÚBLICA
ENMIENDA SUSTANCIAL A LOS PLANES DE DESEMPEÑO ANUALES 2021-2022 Y
2022-2023 Y PLAN DE PARTICIPACIÓN CIUDADANA ANUALES 2020-2024

Por medio de la presente se da aviso que el Ayuntamiento de la Ciudad de Lancaster (“Ciudad”) ha preparado el Borrador de Enmienda Sustancial a los Planes de Desempeño Anuales 2021-2022 y 2022-2023 (“Action Plans” por sus siglas en inglés) y el Plan de Participación Ciudadana Anuales 2020-2024 (“CPP”) preparados para el Departamento de Vivienda y Desarrollo Comunitario de los Estados Unidos (“HUD” por sus siglas en inglés) programa de Subsidios Globales para el Desarrollo Comunitario (CDBG, por sus siglas en inglés).

La Ciudad es una comunidad con derecho a subsidios federales la cual participa en los programas CDBG, y la Ciudad recibe fondos de CDBG anualmente y debe preparar un Plan Consolidado cada cinco años y un Plan de Desempeño anualmente. Desde la adopción de los Planes de Desempeño, la Ciudad ha identificado una (1) actividad que desea cancelar y transferir sus fondos junto con fondos adicionales no comprometidos por un monto combinado de \$681,258 a una (1) nueva actividad. En adición, la Enmienda Sustancial al CPP modifica las políticas existentes de la Ciudad con respecto a las audiencias públicas, los procesos de audiencias públicas y la notificación y el acceso, para que sean más consistentes con la guía de HUD. Para aprobar estos cambios propuestos, la Ciudad debe realizar una audiencia pública y un período de revisión pública para el Borrador de Enmienda Sustancial a los Planes de Desempeño y CPP.

En cumplimiento con el CPP y el Plan Consolidado que implementa la regulación 24 CFR 91.105, esta notificación se da por este medio que la Ciudad ha preparado la Enmienda Sustancial a los Planes de Desempeño y CPP. Se requiere que una copia de la Enmienda Sustancial esté disponible al público para revisión y comentarios por un período no menor de treinta (30) días. El Borrador de Enmienda Sustancial estará disponible para revisión pública de la siguiente manera:

Período para Comentarios Público: 11 de Noviembre de 2022 al 13 de Diciembre de 2022.

Lugar de Revisión: Alcaldía de la Ciudad de Lancaster
Departamento de Finanzas e Informática y
Oficina del Secretario de la Ciudad
44933 Fern Avenue
Lancaster, CA 93534
<https://www.cityoflancasterca.org/our-city/departments-services/housing-neighborhood-revitalization/cdbg-community-development-block-grant>

ADEMÁS, POR MEDIO DE LA PRESENTE SE DA AVISO que el Borrador de Enmienda Sustancial a los Planes de Desempeño y CPP se presentara al Concejo Municipal para su aprobación el 13 de Diciembre de 2022 a las 5:00 P.M. En esta junta, el Concejo Municipal recibirá comentarios públicos sobre el Borrador de Enmienda Sustancial y una vez aprobado, presentará al Enmienda Sustancial a HUD. **Además, la audiencia pública brindará a los residentes la oportunidad**

de expresar sus puntos de vista sobre las necesidades de vivienda y desarrollo comunitario, las necesidades prioritarias de desarrollo comunitario no relacionadas con la vivienda, las estrategias y acciones propuestas para promover afirmativamente una vivienda justa, el desarrollo de las actividades propuestas, una revisión de ejecución del programa y dar respuesta a propuestas o consultas.

Todas las personas están invitadas a la revisión y comentarios sobre el Borrador de Enmienda Sustancial a los Planes de Desempeño y CPP. Los ciudadanos que deseen presentar comentarios por escrito durante el período de revisión y comentarios públicos pueden enviarlos por correo postal, sellados no más tarde del 13 de Diciembre de 2022, a donde se indica enseguida:

City of Lancaster
Attention: Nike Noack, Senior Manager
Finance and Information Technology
44933 Fern Avenue
Lancaster, California 93534

En cumplimiento con la Ley de Americanos con Discapacidades (ADA), esta junta se llevará a cabo en una ubicación accesible para personas con discapacidades; si usted necesita asistencia especial para participar en esta junta pública, por favor comuníquese con el Secretario Municipal al (661) 723-6020. Usuarios de TDD pueden llamar al Servicio de Transmisión TDD de California (California TDD Relay Service) al 1-800-735-2922. Servicios tales como intérpretes de lenguaje de señas, un lector durante la junta, aparatos auxiliares, copias en letra grande de la agenda y/o asistencia de traducción para personas que no hablan inglés están disponibles siempre y cuando la petición sea razonable y oportuna. Para asegurar disponibilidad, se le aconseja que haga su petición por lo menos dentro de 72 horas antes de la junta/evento que desea asistir. Debido a las dificultades en el asegurar intérpretes de lenguajes de señas, cinco o más días de intromisión se le recomienda considerablemente. Para mayor información, por favor comuníquese con el Secretario Municipal al (661)723-6020.

FECHADO: 2 de Noviembre de 2022

ANDREA ALEXANDER
Secretario Municipal
Ayuntamiento de la Ciudad de Lancaster

Publicado: (Lunes, 7 de Noviembre de 2022)

- Prensa de Antelope Valley
(Avisos Públicos)
- Sitio Web Ayuntamiento de la
Ciudad de Lancaster

Summary of Comments Received

The City received the following comments as part of the 2023-2024 Annual Action Plan process.

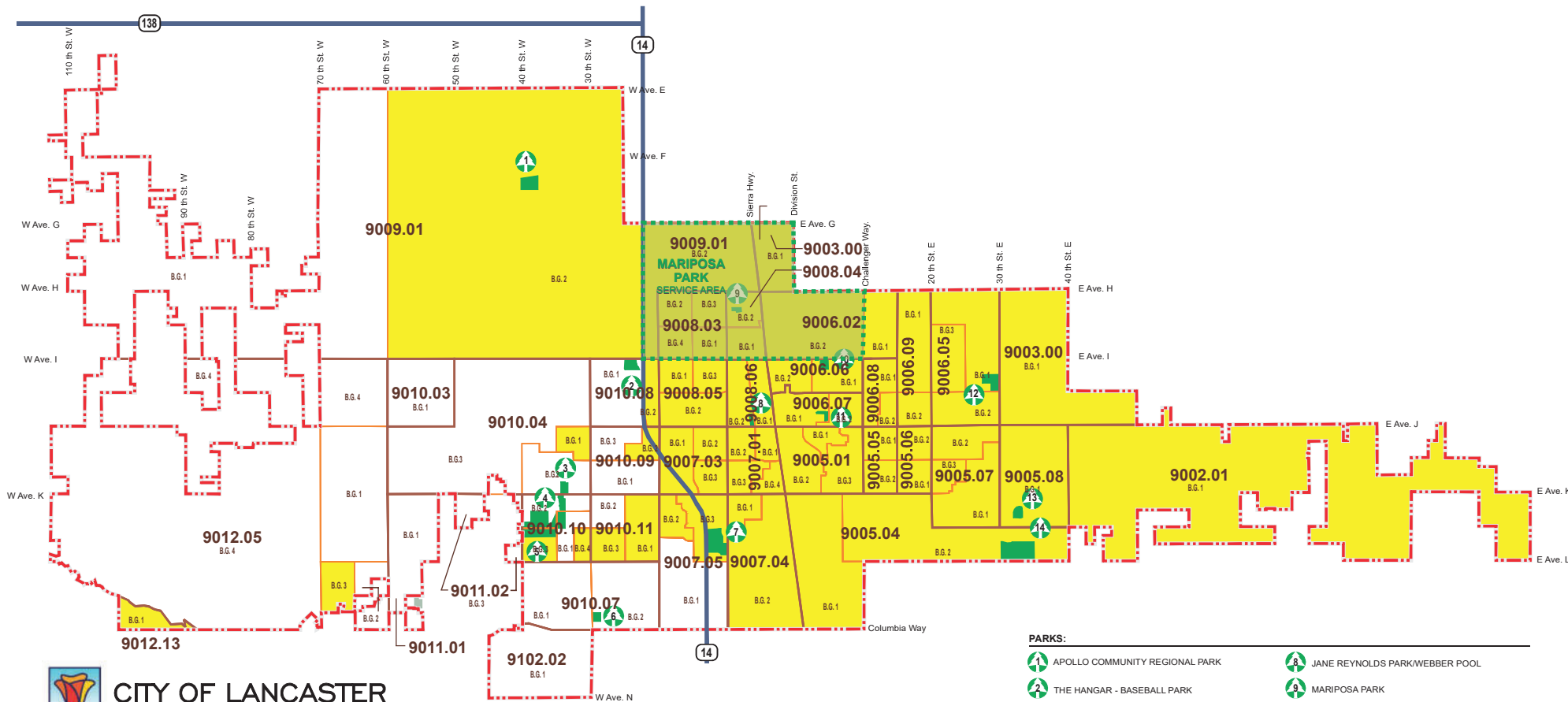
This includes, but is not limited to, comments received during the 30-day public review period and the Public Hearing held on May 9, 2023:

- Two speakers requested to be added to the City's stakeholders list.



APPENDIX B

Grantee Unique Appendices



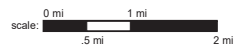
CITY OF LANCASTER

CDBG - LOW AND MODERATE INCOME AREA MAP
 2010 CENSUS DATA (As of February 14, 2019)

- LEGEND:**
- CITY BOUNDARY
 - LOW AND MODERATE INCOME BLOCK GROUPS
 - CENSUS TRACK
 - BLOCK GROUP



north



- PARKS:**
- | | |
|-----------------------------------|--|
| 1 APOLLO COMMUNITY REGIONAL PARK | 8 JANE REYNOLDS PARK/WEBBER POOL |
| 2 THE HANGAR - BASEBALL PARK | 9 MARIPOSA PARK |
| 3 MARAUDER STADIUM | 10 DEPUTY PIERRE W. BAIN PARK/EAST SIDE POOL |
| 4 RAWLEY DUNTLEY PARK | 11 EL DORADO PARK |
| 5 PRIME DESERT WOODLANDS PRESERVE | 12 TIERRA BONITA PARK |
| 6 FOREST E. HULL PARK | 13 SKYTOWER PARK |
| 7 SGT. STEVE OWEN MEMORIAL PARK | 14 LANCASTER NATIONAL SOCCER CENTER |



APPENDIX C

SF-424, SF-424D, & Certifications

Application for Federal Assistance SF-424		
* 1. Type of Submission: <input type="checkbox"/> Preapplication <input checked="" type="checkbox"/> Application <input type="checkbox"/> Changed/Corrected Application	* 2. Type of Application: <input checked="" type="checkbox"/> New <input type="checkbox"/> Continuation <input type="checkbox"/> Revision	* If Revision, select appropriate letter(s): <input type="text"/> * Other (Specify): <input type="text"/>
* 3. Date Received: <input type="text"/>	4. Applicant Identifier: B-23-MC-06-0558	
5a. Federal Entity Identifier: <input type="text"/>	5b. Federal Award Identifier: <input type="text"/>	
State Use Only:		
6. Date Received by State: <input type="text"/>	7. State Application Identifier: <input type="text"/>	
8. APPLICANT INFORMATION:		
* a. Legal Name: City of Lancaster		
* b. Employer/Taxpayer Identification Number (EIN/TIN): 95-3213004	* c. UEI: PLPTTCNAL6E1	
d. Address:		
* Street1: 44933 Fern Avenue	<input type="text"/>	
Street2:	<input type="text"/>	
* City: Lancaster	<input type="text"/>	
County/Parish: Los Angeles	<input type="text"/>	
* State: CA: California	<input type="text"/>	
Province:	<input type="text"/>	
* Country: USA: UNITED STATES	<input type="text"/>	
* Zip / Postal Code: 93534-2483	<input type="text"/>	
e. Organizational Unit:		
Department Name: Real Estate & Econ. Dev.	Division Name: Housing and Real Estate	
f. Name and contact information of person to be contacted on matters involving this application:		
Prefix: Mr.	* First Name: Chris	<input type="text"/>
Middle Name:	<input type="text"/>	
* Last Name: Aune	<input type="text"/>	
Suffix:	<input type="text"/>	
Title: Housing and Real Estate Manager		
Organizational Affiliation: Municipality		
* Telephone Number: (661) 723-5870	Fax Number: <input type="text"/>	
* Email: CAune@cityoflancasterca.gov		

Application for Federal Assistance SF-424

*** 9. Type of Applicant 1: Select Applicant Type:**

C: City or Township Government

Type of Applicant 2: Select Applicant Type:

Type of Applicant 3: Select Applicant Type:

* Other (specify):

*** 10. Name of Federal Agency:**

U.S. Department of Housing and Urban Development

11. Catalog of Federal Domestic Assistance Number:

14.218

CFDA Title:

Community Development Block Grant (CDBG)/Entitlement Grants

*** 12. Funding Opportunity Number:**

B-23-MC-06-0558

* Title:

Community Development Block Grant (CDBG)/Entitlement Grants

13. Competition Identification Number:

N/A

Title:

N/A

14. Areas Affected by Project (Cities, Counties, States, etc.):

Add Attachment

Delete Attachment

View Attachment

*** 15. Descriptive Title of Applicant's Project:**

2023-2024 Action Plan projects using Community Development Block Grant Entitlement funds pursuant to Title I of the Housing and Community Development Act of 1974, as amended.

Attach supporting documents as specified in agency instructions.

Add Attachments

Delete Attachments

View Attachments

Application for Federal Assistance SF-424

16. Congressional Districts Of:

* a. Applicant

* b. Program/Project

Attach an additional list of Program/Project Congressional Districts if needed.

17. Proposed Project:

* a. Start Date:

* b. End Date:

18. Estimated Funding (\$):

* a. Federal	<input type="text" value="1,463,022.00"/>
* b. Applicant	<input type="text" value=""/>
* c. State	<input type="text" value=""/>
* d. Local	<input type="text" value=""/>
* e. Other	<input type="text" value=""/>
* f. Program Income	<input type="text" value=""/>
* g. TOTAL	<input type="text" value="1,463,022.00"/>

*** 19. Is Application Subject to Review By State Under Executive Order 12372 Process?**

- a. This application was made available to the State under the Executive Order 12372 Process for review on
- b. Program is subject to E.O. 12372 but has not been selected by the State for review.
- c. Program is not covered by E.O. 12372.

*** 20. Is the Applicant Delinquent On Any Federal Debt? (If "Yes," provide explanation in attachment.)**

- Yes
- No

If "Yes", provide explanation and attach

21. *By signing this application, I certify (1) to the statements contained in the list of certifications and (2) that the statements herein are true, complete and accurate to the best of my knowledge. I also provide the required assurances** and agree to comply with any resulting terms if I accept an award. I am aware that any false, fictitious, or fraudulent statements or claims may subject me to criminal, civil, or administrative penalties. (U.S. Code, Title 18, Section 1001)**

** I AGREE

** The list of certifications and assurances, or an internet site where you may obtain this list, is contained in the announcement or agency specific instructions.

Authorized Representative:

Prefix: * First Name:
Middle Name:
* Last Name:
Suffix:

* Title:

* Telephone Number: Fax Number:

* Email:

* Signature of Authorized Representative: 

* Date Signed:

ASSURANCES - CONSTRUCTION PROGRAMS

OMB Number: 4040-0009
Expiration Date: 02/28/2025

Public reporting burden for this collection of information is estimated to average 15 minutes per response, including time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. Send comments regarding the burden estimate or any other aspect of this collection of information, including suggestions for reducing this burden, to the Office of Management and Budget, Paperwork Reduction Project (0348-0042), Washington, DC 20503.

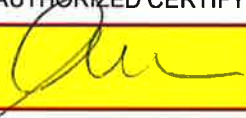
PLEASE DO NOT RETURN YOUR COMPLETED FORM TO THE OFFICE OF MANAGEMENT AND BUDGET. SEND IT TO THE ADDRESS PROVIDED BY THE SPONSORING AGENCY.

NOTE: Certain of these assurances may not be applicable to your project or program. If you have questions, please contact the Awarding Agency. Further, certain Federal assistance awarding agencies may require applicants to certify to additional assurances. If such is the case, you will be notified.

As the duly authorized representative of the applicant, I certify that the applicant:

1. Has the legal authority to apply for Federal assistance, and the institutional, managerial and financial capability (including funds sufficient to pay the non-Federal share of project costs) to ensure proper planning, management and completion of project described in this application.
2. Will give the awarding agency, the Comptroller General of the United States and, if appropriate, the State, the right to examine all records, books, papers, or documents related to the assistance; and will establish a proper accounting system in accordance with generally accepted accounting standards or agency directives.
3. Will not dispose of, modify the use of, or change the terms of the real property title or other interest in the site and facilities without permission and instructions from the awarding agency. Will record the Federal awarding agency directives and will include a covenant in the title of real property acquired in whole or in part with Federal assistance funds to assure non-discrimination during the useful life of the project.
4. Will comply with the requirements of the assistance awarding agency with regard to the drafting, review and approval of construction plans and specifications.
5. Will provide and maintain competent and adequate engineering supervision at the construction site to ensure that the complete work conforms with the approved plans and specifications and will furnish progressive reports and such other information as may be required by the assistance awarding agency or State.
6. Will initiate and complete the work within the applicable time frame after receipt of approval of the awarding agency.
7. Will establish safeguards to prohibit employees from using their positions for a purpose that constitutes or presents the appearance of personal or organizational conflict of interest, or personal gain.
8. Will comply with the Intergovernmental Personnel Act of 1970 (42 U.S.C. §§4728-4763) relating to prescribed standards of merit systems for programs funded under one of the 19 statutes or regulations specified in Appendix A of OPM's Standards for a Merit System of Personnel Administration (5 C.F.R. 900, Subpart F).
9. Will comply with the Lead-Based Paint Poisoning Prevention Act (42 U.S.C. §§4801 et seq.) which prohibits the use of lead-based paint in construction or rehabilitation of residence structures.
10. Will comply with all Federal statutes relating to non-discrimination. These include but are not limited to: (a) Title VI of the Civil Rights Act of 1964 (P.L. 88-352) which prohibits discrimination on the basis of race, color or national origin; (b) Title IX of the Education Amendments of 1972, as amended (20 U.S.C. §§1681 1683, and 1685-1686), which prohibits discrimination on the basis of sex; (c) Section 504 of the Rehabilitation Act of 1973, as amended (29 U.S.C. §794), which prohibits discrimination on the basis of handicaps; (d) the Age Discrimination Act of 1975, as amended (42 U.S.C. §§6101-6107), which prohibits discrimination on the basis of age; (e) the Drug Abuse Office and Treatment Act of 1972 (P.L. 92-255), as amended relating to nondiscrimination on the basis of drug abuse; (f) the Comprehensive Alcohol Abuse and Alcoholism Prevention, Treatment and Rehabilitation Act of 1970 (P.L. 91-616), as amended, relating to nondiscrimination on the basis of alcohol abuse or alcoholism; (g) §§523 and 527 of the Public Health Service Act of 1912 (42 U.S.C. §§290 dd-3 and 290 ee 3), as amended, relating to confidentiality of alcohol and drug abuse patient records; (h) Title VIII of the Civil Rights Act of 1968 (42 U.S.C. §§3601 et seq.), as amended, relating to nondiscrimination in the sale, rental or financing of housing; (i) any other nondiscrimination provisions in the specific statute(s) under which application for Federal assistance is being made; and (j) the requirements of any other nondiscrimination statute(s) which may apply to the application.

11. Will comply, or has already complied, with the requirements of Titles II and III of the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970 (P.L. 91-646) which provide for fair and equitable treatment of persons displaced or whose property is acquired as a result of Federal and federally-assisted programs. These requirements apply to all interests in real property acquired for project purposes regardless of Federal participation in purchases.
12. Will comply with the provisions of the Hatch Act (5 U.S.C. §§1501-1508 and 7324-7328) which limit the political activities of employees whose principal employment activities are funded in whole or in part with Federal funds.
13. Will comply, as applicable, with the provisions of the Davis-Bacon Act (40 U.S.C. §§276a to 276a-7), the Copeland Act (40 U.S.C. §276c and 18 U.S.C. §874), and the Contract Work Hours and Safety Standards Act (40 U.S.C. §§327-333) regarding labor standards for federally-assisted construction subagreements.
14. Will comply with flood insurance purchase requirements of Section 102(a) of the Flood Disaster Protection Act of 1973 (P.L. 93-234) which requires recipients in a special flood hazard area to participate in the program and to purchase flood insurance if the total cost of insurable construction and acquisition is \$10,000 or more.
15. Will comply with environmental standards which may be prescribed pursuant to the following: (a) institution of environmental quality control measures under the National Environmental Policy Act of 1969 (P.L. 91-190) and Executive Order (EO) 11514; (b) notification of violating facilities pursuant to EO 11738; (c) protection of wetlands pursuant to EO 11990; (d) evaluation of flood hazards in floodplains in accordance with EO 11988; (e) assurance of project consistency with the approved State management program developed under the Coastal Zone Management Act of 1972 (16 U.S.C. §§1451 et seq.); (f) conformity of Federal actions to State (Clean Air) implementation Plans under Section 176(c) of the Clean Air Act of 1955, as amended (42 U.S.C. §§7401 et seq.); (g) protection of underground sources of drinking water under the Safe Drinking Water Act of 1974, as amended (P.L. 93-523); and, (h) protection of endangered species under the Endangered Species Act of 1973, as amended (P.L. 93-205).
16. Will comply with the Wild and Scenic Rivers Act of 1968 (16 U.S.C. §§1271 et seq.) related to protecting components or potential components of the national wild and scenic rivers system.
17. Will assist the awarding agency in assuring compliance with Section 106 of the National Historic Preservation Act of 1966, as amended (16 U.S.C. §470), EO 11593 (identification and protection of historic properties), and the Archaeological and Historic Preservation Act of 1974 (16 U.S.C. §§469a-1 et seq).
18. Will cause to be performed the required financial and compliance audits in accordance with the Single Audit Act Amendments of 1996 and OMB Circular No. A-133, "Audits of States, Local Governments, and Non-Profit Organizations."
19. Will comply with all applicable requirements of all other Federal laws, executive orders, regulations, and policies governing this program.
20. Will comply with the requirements of Section 106(g) of the Trafficking Victims Protection Act (TVPA) of 2000, as amended (22 U.S.C. 7104) which prohibits grant award recipients or a sub-recipient from (1) Engaging in severe forms of trafficking in persons during the period of time that the award is in effect (2) Procuring a commercial sex act during the period of time that the award is in effect or (3) Using forced labor in the performance of the award or subawards under the award.

SIGNATURE OF AUTHORIZED CERTIFYING OFFICIAL 	TITLE City Manager
APPLICANT ORGANIZATION City of Lancaster	DATE SUBMITTED 05/10/23

Application for Federal Assistance SF-424		
* 1. Type of Submission: <input type="checkbox"/> Preapplication <input checked="" type="checkbox"/> Application <input type="checkbox"/> Changed/Corrected Application	* 2. Type of Application: <input checked="" type="checkbox"/> New <input type="checkbox"/> Continuation <input type="checkbox"/> Revision	* If Revision, select appropriate letter(s): _____ * Other (Specify): _____
* 3. Date Received: _____	4. Applicant Identifier: M-23-MC-06-0567	
5a. Federal Entity Identifier: _____	5b. Federal Award Identifier: _____	
State Use Only:		
6. Date Received by State: _____	7. State Application Identifier: _____	
8. APPLICANT INFORMATION:		
* a. Legal Name: City of Lancaster		
* b. Employer/Taxpayer Identification Number (EIN/TIN): 95-3213004	* c. UEI: PLPTTCNAL6E1	
d. Address:		
* Street1: 44933 Fern Avenue	_____	
Street2:	_____	
* City: Lancaster	_____	
County/Parish: Los Angeles	_____	
* State: CA: California	_____	
Province:	_____	
* Country: USA: UNITED STATES	_____	
* Zip / Postal Code: 93534-2483	_____	
e. Organizational Unit:		
Department Name: Real Estate & Econ. Dev.	Division Name: Housing and Real Estate	
f. Name and contact information of person to be contacted on matters involving this application:		
Prefix: Mr.	* First Name: Chris	_____
Middle Name:	_____	
* Last Name: Aune	_____	
Suffix:	_____	
Title: Housing and Real Estate Manager		
Organizational Affiliation: Municipality		
* Telephone Number: (661) 723-5870	Fax Number: _____	
* Email: CAune@cityoflancasterca.gov		

Application for Federal Assistance SF-424

*** 9. Type of Applicant 1: Select Applicant Type:**

C: City or Township Government

Type of Applicant 2: Select Applicant Type:

Type of Applicant 3: Select Applicant Type:

* Other (specify):

*** 10. Name of Federal Agency:**

U.S. Department of Housing and Urban Development

11. Catalog of Federal Domestic Assistance Number:

14.239

CFDA Title:

HOME Investment Partnerships (HOME) Program

*** 12. Funding Opportunity Number:**

M-23-MC-06-0567

* Title:

HOME Investment Partnerships (HOME) Program

13. Competition Identification Number:

N/A

Title:

N/A

14. Areas Affected by Project (Cities, Counties, States, etc.):

Add Attachment

Delete Attachment

View Attachment

*** 15. Descriptive Title of Applicant's Project:**

2023-2024 Action Plan projects using HOME Investment Partnerships program funds pursuant to Title II of the National Affordable Housing Act of 1990, as amended.

Attach supporting documents as specified in agency instructions.

Add Attachments

Delete Attachments

View Attachments

Application for Federal Assistance SF-424

16. Congressional Districts Of:

* a. Applicant

* b. Program/Project

Attach an additional list of Program/Project Congressional Districts if needed.

17. Proposed Project:

* a. Start Date:

* b. End Date:

18. Estimated Funding (\$):

* a. Federal	<input type="text" value="724,611.00"/>
* b. Applicant	<input type="text" value=""/>
* c. State	<input type="text" value=""/>
* d. Local	<input type="text" value=""/>
* e. Other	<input type="text" value=""/>
* f. Program Income	<input type="text" value=""/>
* g. TOTAL	<input type="text" value="724,611.00"/>

*** 19. Is Application Subject to Review By State Under Executive Order 12372 Process?**

- a. This application was made available to the State under the Executive Order 12372 Process for review on
- b. Program is subject to E.O. 12372 but has not been selected by the State for review.
- c. Program is not covered by E.O. 12372.

*** 20. Is the Applicant Delinquent On Any Federal Debt? (If "Yes," provide explanation in attachment.)**

- Yes
- No

If "Yes", provide explanation and attach

21. *By signing this application, I certify (1) to the statements contained in the list of certifications and (2) that the statements herein are true, complete and accurate to the best of my knowledge. I also provide the required assurances** and agree to comply with any resulting terms if I accept an award. I am aware that any false, fictitious, or fraudulent statements or claims may subject me to criminal, civil, or administrative penalties. (U.S. Code, Title 18, Section 1001)**

** I AGREE

** The list of certifications and assurances, or an internet site where you may obtain this list, is contained in the announcement or agency specific instructions.

Authorized Representative:

Prefix: * First Name:
Middle Name:
* Last Name:
Suffix:

* Title:

* Telephone Number: Fax Number:

* Email:

* Signature of Authorized Representative: 

* Date Signed:

ASSURANCES - CONSTRUCTION PROGRAMS

OMB Number: 4040-0009
Expiration Date: 02/28/2025

Public reporting burden for this collection of information is estimated to average 15 minutes per response, including time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. Send comments regarding the burden estimate or any other aspect of this collection of information, including suggestions for reducing this burden, to the Office of Management and Budget, Paperwork Reduction Project (0348-0042), Washington, DC 20503.


PLEASE DO NOT RETURN YOUR COMPLETED FORM TO THE OFFICE OF MANAGEMENT AND BUDGET. SEND IT TO THE ADDRESS PROVIDED BY THE SPONSORING AGENCY.

NOTE: Certain of these assurances may not be applicable to your project or program. If you have questions, please contact the Awarding Agency. Further, certain Federal assistance awarding agencies may require applicants to certify to additional assurances. If such is the case, you will be notified.

As the duly authorized representative of the applicant, I certify that the applicant:

1. Has the legal authority to apply for Federal assistance, and the institutional, managerial and financial capability (including funds sufficient to pay the non-Federal share of project costs) to ensure proper planning, management and completion of project described in this application.
2. Will give the awarding agency, the Comptroller General of the United States and, if appropriate, the State, the right to examine all records, books, papers, or documents related to the assistance; and will establish a proper accounting system in accordance with generally accepted accounting standards or agency directives.
3. Will not dispose of, modify the use of, or change the terms of the real property title or other interest in the site and facilities without permission and instructions from the awarding agency. Will record the Federal awarding agency directives and will include a covenant in the title of real property acquired in whole or in part with Federal assistance funds to assure non-discrimination during the useful life of the project.
4. Will comply with the requirements of the assistance awarding agency with regard to the drafting, review and approval of construction plans and specifications.
5. Will provide and maintain competent and adequate engineering supervision at the construction site to ensure that the complete work conforms with the approved plans and specifications and will furnish progressive reports and such other information as may be required by the assistance awarding agency or State.
6. Will initiate and complete the work within the applicable time frame after receipt of approval of the awarding agency.
7. Will establish safeguards to prohibit employees from using their positions for a purpose that constitutes or presents the appearance of personal or organizational conflict of interest, or personal gain.
8. Will comply with the Intergovernmental Personnel Act of 1970 (42 U.S.C. §§4728-4763) relating to prescribed standards of merit systems for programs funded under one of the 19 statutes or regulations specified in Appendix A of OPM's Standards for a Merit System of Personnel Administration (5 C.F.R. 900, Subpart F).
9. Will comply with the Lead-Based Paint Poisoning Prevention Act (42 U.S.C. §§4801 et seq.) which prohibits the use of lead-based paint in construction or rehabilitation of residence structures.
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11. Will comply, or has already complied, with the requirements of Titles II and III of the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970 (P.L. 91-646) which provide for fair and equitable treatment of persons displaced or whose property is acquired as a result of Federal and federally-assisted programs. These requirements apply to all interests in real property acquired for project purposes regardless of Federal participation in purchases.
12. Will comply with the provisions of the Hatch Act (5 U.S.C. §§1501-1508 and 7324-7328) which limit the political activities of employees whose principal employment activities are funded in whole or in part with Federal funds.
13. Will comply, as applicable, with the provisions of the Davis-Bacon Act (40 U.S.C. §§276a to 276a-7), the Copeland Act (40 U.S.C. §276c and 18 U.S.C. §874), and the Contract Work Hours and Safety Standards Act (40 U.S.C. §§327-333) regarding labor standards for federally-assisted construction subagreements.
14. Will comply with flood insurance purchase requirements of Section 102(a) of the Flood Disaster Protection Act of 1973 (P.L. 93-234) which requires recipients in a special flood hazard area to participate in the program and to purchase flood insurance if the total cost of insurable construction and acquisition is \$10,000 or more.
15. Will comply with environmental standards which may be prescribed pursuant to the following: (a) institution of environmental quality control measures under the National Environmental Policy Act of 1969 (P.L. 91-190) and Executive Order (EO) 11514; (b) notification of violating facilities pursuant to EO 11738; (c) protection of wetlands pursuant to EO 11990; (d) evaluation of flood hazards in floodplains in accordance with EO 11988; (e) assurance of project consistency with the approved State management program developed under the Coastal Zone Management Act of 1972 (16 U.S.C. §§1451 et seq.); (f) conformity of Federal actions to State (Clean Air) implementation Plans under Section 176(c) of the Clean Air Act of 1955, as amended (42 U.S.C. §§7401 et seq.); (g) protection of underground sources of drinking water under the Safe Drinking Water Act of 1974, as amended (P.L. 93-523); and, (h) protection of endangered species under the Endangered Species Act of 1973, as amended (P.L. 93-205).
16. Will comply with the Wild and Scenic Rivers Act of 1968 (16 U.S.C. §§1271 et seq.) related to protecting components or potential components of the national wild and scenic rivers system.
17. Will assist the awarding agency in assuring compliance with Section 106 of the National Historic Preservation Act of 1966, as amended (16 U.S.C. §470), EO 11593 (identification and protection of historic properties), and the Archaeological and Historic Preservation Act of 1974 (16 U.S.C. §§469a-1 et seq).
18. Will cause to be performed the required financial and compliance audits in accordance with the Single Audit Act Amendments of 1996 and OMB Circular No. A-133, "Audits of States, Local Governments, and Non-Profit Organizations."
19. Will comply with all applicable requirements of all other Federal laws, executive orders, regulations, and policies governing this program.
20. Will comply with the requirements of Section 106(g) of the Trafficking Victims Protection Act (TVPA) of 2000, as amended (22 U.S.C. 7104) which prohibits grant award recipients or a sub-recipient from (1) Engaging in severe forms of trafficking in persons during the period of time that the award is in effect (2) Procuring a commercial sex act during the period of time that the award is in effect or (3) Using forced labor in the performance of the award or subawards under the award.

SIGNATURE OF AUTHORIZED CERTIFYING OFFICIAL 	TITLE City Manager
APPLICANT ORGANIZATION City of Lancaster	DATE SUBMITTED 06/10/23

CERTIFICATIONS

In accordance with the applicable statutes and the regulations governing the consolidated plan regulations, the jurisdiction certifies that:

Affirmatively Further Fair Housing --The jurisdiction will affirmatively further fair housing.

Uniform Relocation Act and Anti-displacement and Relocation Plan -- It will comply with the acquisition and relocation requirements of the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, as amended, (42 U.S.C. 4601-4655) and implementing regulations at 49 CFR Part 24. It has in effect and is following a residential anti-displacement and relocation assistance plan required under 24 CFR Part 42 in connection with any activity assisted with funding under the Community Development Block Grant or HOME programs.

Anti-Lobbying --To the best of the jurisdiction's knowledge and belief:

1. No Federal appropriated funds have been paid or will be paid, by or on behalf of it, to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the awarding of any Federal contract, the making of any Federal grant, the making of any Federal loan, the entering into of any cooperative agreement, and the extension, continuation, renewal, amendment, or modification of any Federal contract, grant, loan, or cooperative agreement;

2. If any funds other than Federal appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with this Federal contract, grant, loan, or cooperative agreement, it will complete and submit Standard Form-LLL, "Disclosure Form to Report Lobbying," in accordance with its instructions; and

3. It will require that the language of paragraph 1 and 2 of this anti-lobbying certification be included in the award documents for all subawards at all tiers (including subcontracts, subgrants, and contracts under grants, loans, and cooperative agreements) and that all subrecipients shall certify and disclose accordingly.

Authority of Jurisdiction --The consolidated plan is authorized under State and local law (as applicable) and the jurisdiction possesses the legal authority to carry out the programs for which it is seeking funding, in accordance with applicable HUD regulations.

Consistency with plan --The housing activities to be undertaken with Community Development Block Grant, HOME, Emergency Solutions Grant, and Housing Opportunities for Persons With AIDS funds are consistent with the strategic plan in the jurisdiction's consolidated plan.

Section 3 -- It will comply with section 3 of the Housing and Urban Development Act of 1968 (12 U.S.C. 1701u) and implementing regulations at 24 CFR Part 75.



Signature of Authorized Official

5/10/23

Date

City Manager

Title

Specific Community Development Block Grant Certifications

The Entitlement Community certifies that:

Citizen Participation -- It is in full compliance and following a detailed citizen participation plan that satisfies the requirements of 24 CFR 91.105.

Community Development Plan -- Its consolidated plan identifies community development and housing needs and specifies both short-term and long-term community development objectives that have been developed in accordance with the primary objective of the CDBG program (i.e., the development of viable urban communities, by providing decent housing and expanding economic opportunities, primarily for persons of low and moderate income) and requirements of 24 CFR Parts 91 and 570.

Following a Plan -- It is following a current consolidated plan that has been approved by HUD.

Use of Funds -- It has complied with the following criteria:

1. Maximum Feasible Priority. With respect to activities expected to be assisted with CDBG funds, it has developed its Action Plan so as to give maximum feasible priority to activities which benefit low- and moderate-income families or aid in the prevention or elimination of slums or blight. The Action Plan may also include CDBG-assisted activities which the grantee certifies are designed to meet other community development needs having particular urgency because existing conditions pose a serious and immediate threat to the health or welfare of the community, and other financial resources are not available (see Optional CDBG Certification).

2. Overall Benefit. The aggregate use of CDBG funds, including Section 108 guaranteed loans, during program year(s) 2023, 2024, 2025 [a period specified by the grantee of one, two, or three specific consecutive program years], shall principally benefit persons of low and moderate income in a manner that ensures that at least 70 percent of the amount is expended for activities that benefit such persons during the designated period.

3. Special Assessments. It will not attempt to recover any capital costs of public improvements assisted with CDBG funds, including Section 108 loan guaranteed funds, by assessing any amount against properties owned and occupied by persons of low and moderate income, including any fee charged or assessment made as a condition of obtaining access to such public improvements.

However, if CDBG funds are used to pay the proportion of a fee or assessment that relates to the capital costs of public improvements (assisted in part with CDBG funds) financed from other revenue sources, an assessment or charge may be made against the property with respect to the public improvements financed by a source other than CDBG funds.

In addition, in the case of properties owned and occupied by moderate-income (not low-income) families, an assessment or charge may be made against the property for public improvements financed by a source other than CDBG funds if the jurisdiction certifies that it lacks CDBG funds to cover the assessment.

Excessive Force -- It has adopted and is enforcing:

1. A policy prohibiting the use of excessive force by law enforcement agencies within its jurisdiction against any individuals engaged in non-violent civil rights demonstrations; and
2. A policy of enforcing applicable State and local laws against physically barring entrance to or exit from a facility or location which is the subject of such non-violent civil rights demonstrations within its jurisdiction.

Compliance with Anti-discrimination laws -- The grant will be conducted and administered in conformity with title VI of the Civil Rights Act of 1964 (42 U.S.C. 2000d) and the Fair Housing Act (42 U.S.C. 3601-3619) and implementing regulations.

Lead-Based Paint -- Its activities concerning lead-based paint will comply with the requirements of 24 CFR Part 35, Subparts A, B, J, K and R.

Compliance with Laws -- It will comply with applicable laws.



Signature of Authorized Official

05/10/23
Date


City Manager

Title

OPTIONAL Community Development Block Grant Certification

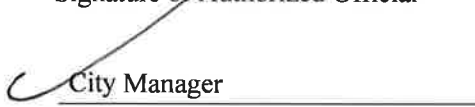
Submit the following certification only when one or more of the activities in the action plan are designed to meet other community development needs having particular urgency as specified in 24 CFR 570.208(c):

The grantee hereby certifies that the Annual Plan includes one or more specifically identified CDBG-assisted activities which are designed to meet other community development needs having particular urgency because existing conditions pose a serious and immediate threat to the health or welfare of the community and other financial resources are not available to meet such needs.



Signature of Authorized Official

05/10/23
Date



City Manager
Title

Specific HOME Certifications

The HOME participating jurisdiction certifies that:

Tenant Based Rental Assistance -- If it plans to provide tenant-based rental assistance, the tenant-based rental assistance is an essential element of its consolidated plan.

Eligible Activities and Costs -- It is using and will use HOME funds for eligible activities and costs, as described in 24 CFR §§92.205 through 92.209 and that it is not using and will not use HOME funds for prohibited activities, as described in §92.214.


Subsidy layering -- Before committing any funds to a project, it will evaluate the project in accordance with the guidelines that it adopts for this purpose and will not invest any more HOME funds in combination with other Federal assistance than is necessary to provide affordable housing;



Signature of Authorized Official

05/10/23

Date



City Manager
Title

APPENDIX TO CERTIFICATIONS

INSTRUCTIONS CONCERNING LOBBYING CERTIFICATION:

Lobbying Certification

This certification is a material representation of fact upon which reliance was placed when this transaction was made or entered into. Submission of this certification is a prerequisite for making or entering into this transaction imposed by section 1352, title 31, U.S. Code. Any person who fails to file the required certification shall be subject to a civil penalty of not less than \$10,000 and not more than \$100,000 for each such failure.