



**NOTICE OF AVAILABILITY/NOTICE OF INTENT TO ADOPT A
MITIGATED NEGATIVE DECLARATION PURSUANT TO THE
CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)**

DATE: OCTOBER 10, 2023

TO: STATE CLEARINGHOUSE, AGENCIES, AND INTERESTED PARTIES

FROM: CITY OF LANCASTER
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING AND PERMITTING DIVISION

SUBJECT: NOTICE OF AVAILABILITY/NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

TITLE: SITE PLAN REVIEW (SPR) NO. 23-009, TENTATIVE TRACT MAP NO. 23-003 (TTM 84221), GENERAL PLAN AMENDMENT (GPA) NO. 23-001, AND ZONE CHANGE (ZC) NO. 23-001

This notice is to advise responsible and trustee agencies as well as interested parties and those potentially affected by the project that the City of Lancaster has prepared an Initial Study/Mitigated Negative Declaration (IS/MND) for the project identified below (SPR No. 23-009/TTM No. 23-003 [TTM 84221]/GPA No. 23-001/ZC No. 23-001). The City has determined that the project will not result in significant environmental impacts with the implementation of the identified mitigation measures.

Project Description: The applicant (Maisons Sierra Phase I, LP) proposes to construct and operate a 2-phase, 100% affordable, private, gated housing development. All units within the development would be rental units. Phase I consists of a 196-unit development. Each lot within the project would contain a primary residence and an accessory dwelling unit with off street parking. Additionally, open space/recreational facilities including a pool would be provided throughout the community, an additional parking facility would be provided for the adjacent Mariposa Park, and a drainage basin would be provided at the northwest corner of the development. Access to the development would be from two driveways along Sierra Highway. Phase II would be developed after Phase I and includes up to 303 affordable units for seniors with similar amenities as Phase I.

As part of the proposed project, tentative tract map, general plan amendment and zone change have also been requested. The tentative tract map would subdivide the subject property into the necessary number of lots to accommodate the units in Phase I and Phase II along with the open and common space lots. The general plan designation and zoning on the subject property is currently a mixed of Moderate Density Residential and Park. The General Plan Amendment and

Zone Change would change these designations so that they entire site is designated and zoned Moderate Density Residential (MDR).

Location: The project site is located on approximately 45 acres on the south side of Avenue H between Avenue H and Avenue H-8 in the City of Lancaster, California. Specifically, the proposed project is located on Assessor Parcel Numbers (APNs) 3135-001-903 through 3135-001-918.

Mitigation Measures: Mitigation measures have been identified for air quality, biological resources, cultural resources, geology and soils, and noise.

Availability of Documents: The IS/MND is available for review at:

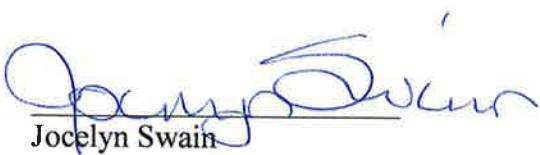
- The Lancaster Public Library located at 601 West Lancaster Boulevard, Lancaster, CA
- City of Lancaster offices located at 44933 Fern Avenue, Lancaster, CA
- Online at <https://www.cityoflancasterca.org/our-city/departments-services/development-services/planning/environmental-review/initial-studies>

Comment Period: The comment period for this IS/MND starts on October 10, 2023 and closes on November 9, 2023. You are encouraged to submit comments regarding the proposed IS/MND and/or the merits of the proposed project. You may do so by submitting written comments to the address or email below and the comments should be received no later than November 9, 2023.

Lead Agency Name and Address

City of Lancaster
Attention: Jocelyn Swain, Senior Planner – Community Development Department
44933 Fern Avenue
Lancaster, CA 93534
jswain@cityoflancasterca.gov

The proposed project is anticipated to be heard at the November 13, 2023 Planning Commission meeting.



Jocelyn Swain
Senior Planner – Community Development Department